

## B19 - BOGANGAR/CABARITA BEACH LOCALITY PLAN

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**[Note: That certain lands that are identified in Section B19.9 & B19.12 are subject to a facilitating rezoning under the Tweed Local Environmental Plan 2000. These rezonings are presently being investigated by Council.]**

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## B19 - BOGANGAR/CABARITA BEACH LOCALITY PLAN

### B19.1 INTRODUCTION

#### B19.1.1 This Section aims to:

- Implement development provisions and design guidelines that are specific to Bogangar/Cabarita Beach;
- Provide design guidelines to appropriately manage development within the subject Bogangar/Cabarita Beach through a single document;
- Encourage high quality urban design;
- Inform applicants, developers, consultants, Council and the general public about Councils planning intentions for Bogangar/Cabarita Beach;
- Establish a Strategic Planning Framework for the future development of the study area.

#### B19.1.2 Land to which this Section applies

This Section applies to Bogangar/Cabarita Beach (B19 – Maps 1 and 2).

#### B19.1.3 How does this Section relate to other Sections and Environmental Planning Instruments?

Where an inconsistency arises between this Section and any environmental planning instrument applying to the same land, the provisions of the environmental planning instrument prevails. An environmental planning instrument means a State Environmental Planning Policy, a Regional Environmental Plan or a Local Environmental Plan.

Where there is an inconsistency between this Section and any other Sections, the provision of this Section shall prevail.

This Section is generally consistent with the provisions of the Tweed Local Environmental Plan (LEP) 2000, as required by the Environmental Planning and Assessment Act, 1979. In the event of any inconsistencies, the provisions of the LEP shall prevail. This Section should be read in conjunction with the various other Sections and policies for Tweed Shire which may be relevant to a particular development. These include the following:

- Section A1 - Residential and Tourist Development Code
- Section A2 - Site Access and Parking Code
- Section A3 - Development of Flood Liable Land
- Section A4 - Advertising Signs Code
- Section A5 - Subdivision Manual
- Section A9 - Energy Smart Housing
- Section A10 - Exempt and Complying Development
- Section A12 - (Repealed 29 April 2008)
- Section A13 - Socio-Economic Impacts of Development
- Building Lines Policy
- Fencing Policy

Copies of these documents may be obtained upon request from Council.

This Section is intended to establish a strategic direction for the study area. Some of the strategic objectives of the study area may not necessarily be consistent with the current land use provisions of Tweed LEP 2000. Where inconsistencies occur, the land will need to be rezoned in accordance with the provisions of the Environmental Planning and Assessment Act 1979.

#### **B19.1.4 How to use this Section**

In preparing an application for development, there are a number of specific steps that should be followed:

- Step 1: Check the zoning of the site under Tweed LEP 2000 to ensure that the proposed development is permissible and to determine what related provisions apply. Where a proposed development is inconsistent with the land use provisions of the Tweed LEP 2000, refer to Step 7.
- Step 2: Establish what other Sections of this DCP or Council Policies apply to the site (B19.1.3).
- Step 3: Familiarise yourself with the Vision, Objectives and Structure Plan for the future of Bogangar/Cabarita Beach (B19.2).
- Step 4: Determine which precinct the site is located within (B19.2)
- Step 5: Consider the Objectives and Preferred Outcomes for the particular precinct (B19.3 – B19.8). Where a proposed development is consistent with the Objectives and Preferred Outcomes for a particular precinct, but inconsistent with the land use provisions of Tweed LEP 2000, refer to Step 7.
- Step 6: Follow the applicable design guidelines (B19.9, B19.10 & B19.11) and refer to other applicable DCPs and policies.

It is these components that will be used by Council to assess any development proposal.

- Step 7: Where a proposed development is consistent with the Strategic Objectives and Preferred Outcomes for a particular Precinct, but is inconsistent with the land use provisions of Tweed LEP 2000, the applicant will need to rezone the land in accordance with the provisions of the Environmental Planning and Assessment Act, 1979. Where a proposed development is inconsistent with the provisions of both Tweed LEP 2000 and the Strategic Objectives and Preferred Outcomes of a particular Precinct the proposed development will not be supported.

#### **B19.1.5 How the Precinct Plan Sections Work**

The study area affected by this Section has been divided into eleven precincts. These precincts are:

1. Coastal Foreshore Precinct
2. Open Space and Recreation Precinct
3. Detached Residential Precinct
4. Residential B Precinct
5. Cypress Crescent Precinct



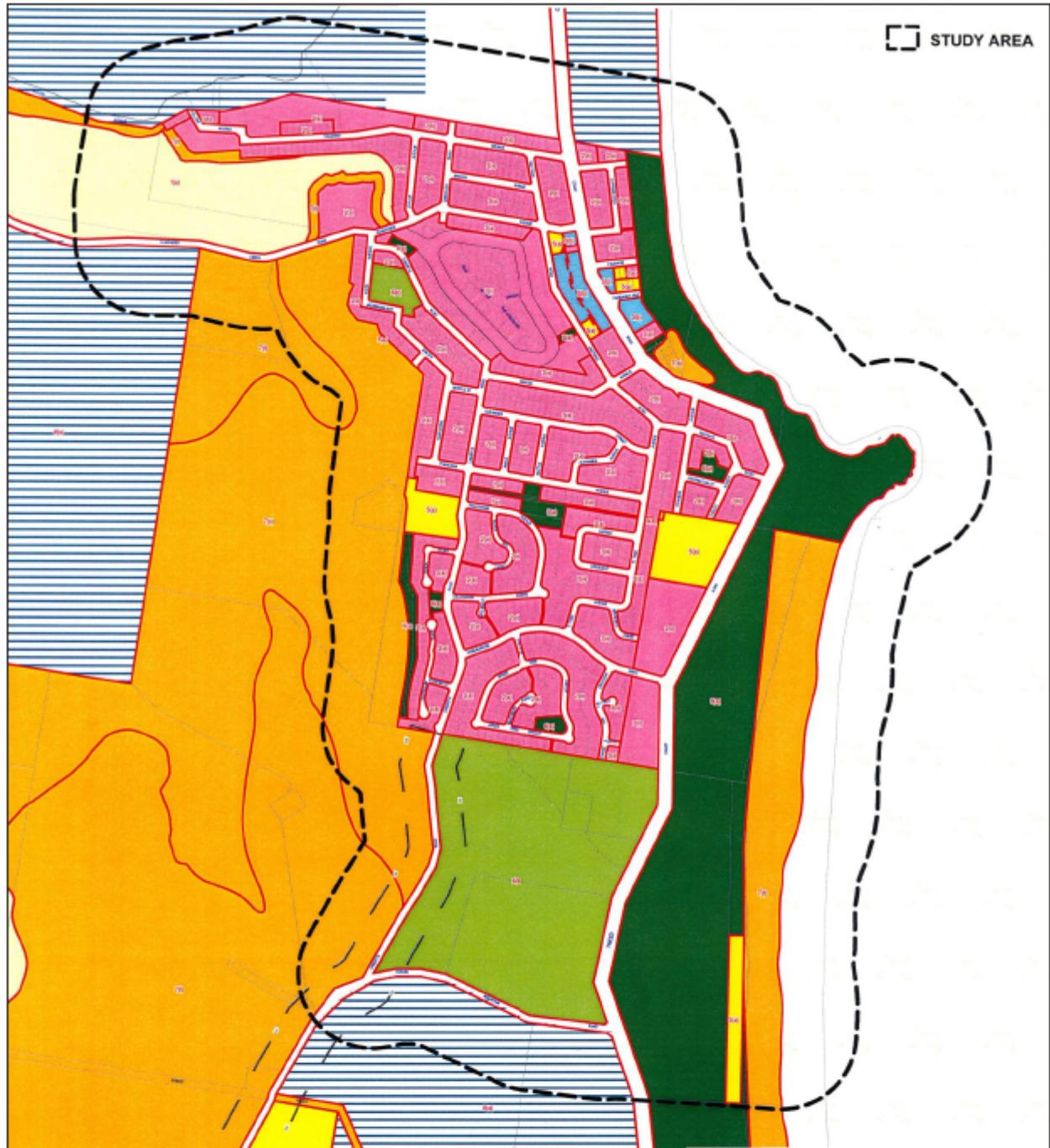
6. Residential Tourist Precinct
7. Pandanus Parade Precinct
8. Southern Development Precinct
9. Special Uses Precinct
10. Tweed Coast Road Commercial Precinct
11. Hasting Road Commercial Precinct

Each Precinct contains background information and Objectives and Preferred Outcomes for that Precinct. It's envisaged that each precinct will develop into its own distinct character whilst maintaining and ensuring development is coordinated, sympathetic, and integrated with adjoining precincts.

## MAP 1 – AERIAL MAP OF DCP AREA



MAP 2 – ZONING MAP OF DCP AREA



LEGEND - TWEED LOCAL ENVIRONMENT PLAN 2000

<p><b>RURAL</b></p> <ul style="list-style-type: none"> <li>1(a) Rural</li> <li>1(b1) Agricultural Protection</li> <li>1(b2) Agricultural Protection</li> <li>1(c) Rural Living</li> </ul> <p><b>RESIDENTIAL</b></p> <ul style="list-style-type: none"> <li>2(a) Low Density Residential</li> <li>2(b) Medium Density Residential</li> <li>2(c) Urban Expansion</li> <li>2(d) Village</li> <li>2(e) Residential Tourist</li> <li>2(f) Tourism</li> </ul>	<p><b>BUSINESS</b></p> <ul style="list-style-type: none"> <li>3(a) Sub - Regional Business</li> <li>3(b) General Business</li> <li>3(c) Commerce and Trade</li> <li>3(d) Waterfront Enterprise</li> <li>3(e) Special Tourist</li> </ul> <p><b>INDUSTRIAL</b></p> <ul style="list-style-type: none"> <li>4(a) Industrial</li> </ul> <p><b>SPECIAL USES</b></p> <ul style="list-style-type: none"> <li>5(a) Special Uses</li> </ul> <p><b>OPEN SPACE</b></p> <ul style="list-style-type: none"> <li>6(a) Open Space</li> <li>6(b) Recreation</li> </ul>	<p><b>ENVIRONMENTAL PROTECTION</b></p> <ul style="list-style-type: none"> <li>7(a) Environmental Protection (Wetlands &amp; Littoral Rainforests)</li> <li>7(b) Environmental Protection (Scenic / Escarpment)</li> <li>7(f) Environmental Protection (Coastal Lands)</li> <li>7(g) Environmental Protection (Habitat)</li> </ul> <p><b>NATIONAL PARKS &amp; NATURE RESERVES</b></p> <ul style="list-style-type: none"> <li>8(a) National Parks and Nature Reserves</li> </ul>	<p><b>ADDITIONAL CONTROLS</b></p> <ul style="list-style-type: none"> <li>Clause 37 (Transmission Line Corridor)</li> <li>Clause 38 (Future Roads)</li> <li>Clause 41 (Heritage Conservation Area)</li> <li>Clause 52 (Kings Beach / Kings Forest / Osprey Nest)</li> <li>Clause 52 (Portville)</li> <li>Clause 52 (Stormwater and Fill)</li> <li>Clause 52 (Minimum Lot Sizes)</li> <li>Clause 52 (Cobaki Lakes)</li> <li>Clause 52 (Existing and Future Dam Areas)</li> <li>Clause 53 (Schedule 3 Item)</li> </ul>
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## **B19.2 THE VISION**

### **B19.2.1 Why do we need a Vision?**

Bogangar/Cabarita Beach is located along the Tweed Coast, situated between the Township of Kingscliff and Pottsville. It's situated approximately 15-20 kilometres from Tweed Heads and the Queensland Border.

Bogangar/Cabarita Beach is a small coastal township comprising of a population of approximately 3000 persons in total (2001 ABS Census). The estimated population growth rate, between 1991 and 2001, for Cabarita Beach is 9.8% per annum. The population growth rate is significant but is relative considering the small population base of Cabarita Beach.

With large areas of protected wetlands, Cabarita Beach has only limited development, creating a quiet, relaxed atmosphere where the main recreational activities are surfing, swimming, beach activities, estuary fishing, bushwalking and canoeing.

The major outcome expected from this document is the development of a planning framework that provides strategies and outcomes which will guide Council in managing various urban pressures and land uses (development form and function) within Bogangar/Cabarita Beach. It is intended to provide clear direction through desired outcomes that are supported by development and design codes and policies for the study area.

### **B19.2.2 Policy Considerations**

#### **Coastal Policy**

Bogangar/Cabarita Beach is part of the NSW coastal strip affected by the State Government's Coastal Policy 1997. The Coastal Policy relies heavily on local Councils for its effective implementation. This DCP ensures that the Coastal Policy is implemented through adherence to the Policy's principles and recommended actions.

In particular, the Coastal Policy promotes compact and contained urban development, to avoid continuous ribbon development along the coast. It also requires that the design of towns and buildings should have regard to energy efficient principles, such as compact urban form related to transport networks, to reduce energy dependency. The Policy also encourages higher density residential development in close proximity to town centres, in order to provide easy access to services and employment and to create a stimulating town centre environment.

#### **Tweed Shire 2000+ Strategic Plan**

The Tweed Shire 2000+ Strategic Plan was adopted by Council in 1996 and provides the direction for future planning in Tweed Shire. The Strategic Plan details the desired outcomes for urban development, which include:

- A sense of identity related to setting, landscape, and built character;
- Mixed land uses to encourage vitality;
- Priority for pedestrian access;
- A human scale of built development;
- Respect for heritage values;
- Acknowledgement of ecological interactions;

- Provision of public transport and local community facilities in residential areas.

### **B19.2.3 A Vision for Bogangar/Cabarita Beach Study Area**

#### **Vision Statement**

A Vision Statement for the Bogangar / Cabarita Beach Study area was formulated after consultation with the Advisory Committee established in the preparation of this section. Committee members expressed Bogangar/Cabarita Beach to be a unique coastal village characterised by:

- Significant natural assets (Coastal Features, National Parks, Nature Reserves, Round Mountain, Native Fauna, etc).
- Peaceful, quiet, fishing, surfing, beach lifestyle.
- A community living in harmony with the natural environment and embracing a beach village atmosphere.
- Attractive holiday destination for a variety of tourists (Families, Day/Weekend trippers, affordable and prestigious accommodation).
- A safe environment.

More recently, Council commenced a more detailed study to consider the whole of Bogangar/Cabarita Beach and, more particularly, develop a master plan for the Pandanus Parade Precinct (see Section B19.9). The Steering Committee established for the study reinforced the unique coastal village character identified in the previous investigations.

Given the above characteristics the vision for Bogangar/Cabarita Beach is:

**“To retain and enhance the unique natural environmental character and coastal lifestyle offered by Bogangar/Cabarita Beach, whilst embracing high quality development promoting the area as a popular location for residential living, tourism and business”**

#### **Objectives**

The objectives for Bogangar/Cabarita Beach are to create a village that exhibits the following characteristics:

**Economic Development:** A viable and attractive “niche market” for tourists, retail and commercial investors and the local community will be established. Commercial activity consistent with local community and visitor needs is to be provided.

**Land Use:** The compact village form is retained and enhanced through appropriate forms of infill development and protection of environmental attributes.

**Open Spaces:** A network of parks and public places are available which reinforce the coastal character of the village and provide extensive opportunities for community interaction and a broad range of activities.

**Environmental Hazards:** New development is adequately protected from environmental hazards such as flooding, bushfire risk and coastal processes.

**Community and Recreation Facilities:** A high quality and safe public environment will be maintained. Any improvements undertaken within public land will compliment and be sympathetic with the surrounding natural environment.

**Environmental Management:** Ecologically significant areas and the natural processes occurring therein are protected from any impact arising from existing and future developments.

**Movement and Linkages:** A people friendly environment will exist, with pedestrian linkages through the village centre and to primary pedestrian destinations such as the beach and foreshore will be established. Appropriate and safe management of pedestrian, cycle and motor vehicle traffic will be established. Adequate car parking facilities will be available.

**Built form:** New buildings will respect the streetscape and the amenity and character of adjoining developments. New developments should respond favourably to the climate through the incorporation of energy efficient design principles. New developments will exhibit high quality urban design and architectural merit consistent with the beach character of the area.

**Mixed Use development:** The town centre will be characterised by mixed-use commercial/residential and/or tourist developments which will provide life and vitality to the central area.

**Commercial streetscapes:** Streetscapes in commercial zones should exhibit a continuity of active building frontages built to the street edge, while also maintaining a diversity of façade elements. Monotonous repetition of facade elements will be avoided. Any Streetscape improvements undertaken within commercial areas will contribute positively to the visual appeal of the area and compliment the function of the locality.

**Residential streetscapes:** Streetscapes in residential zones will exhibit a variety of façade and roof forms, set amidst landscaped surrounds. Entrances to all buildings will be clearly identifiable from the street and casual supervision of the street and other public places will be available from all buildings.

**Landscaping:** The landscaping of public areas and private developments will be of a high standard and contribute positively to the urban streetscape. Public landscaping is to be made up of endemic plant species.

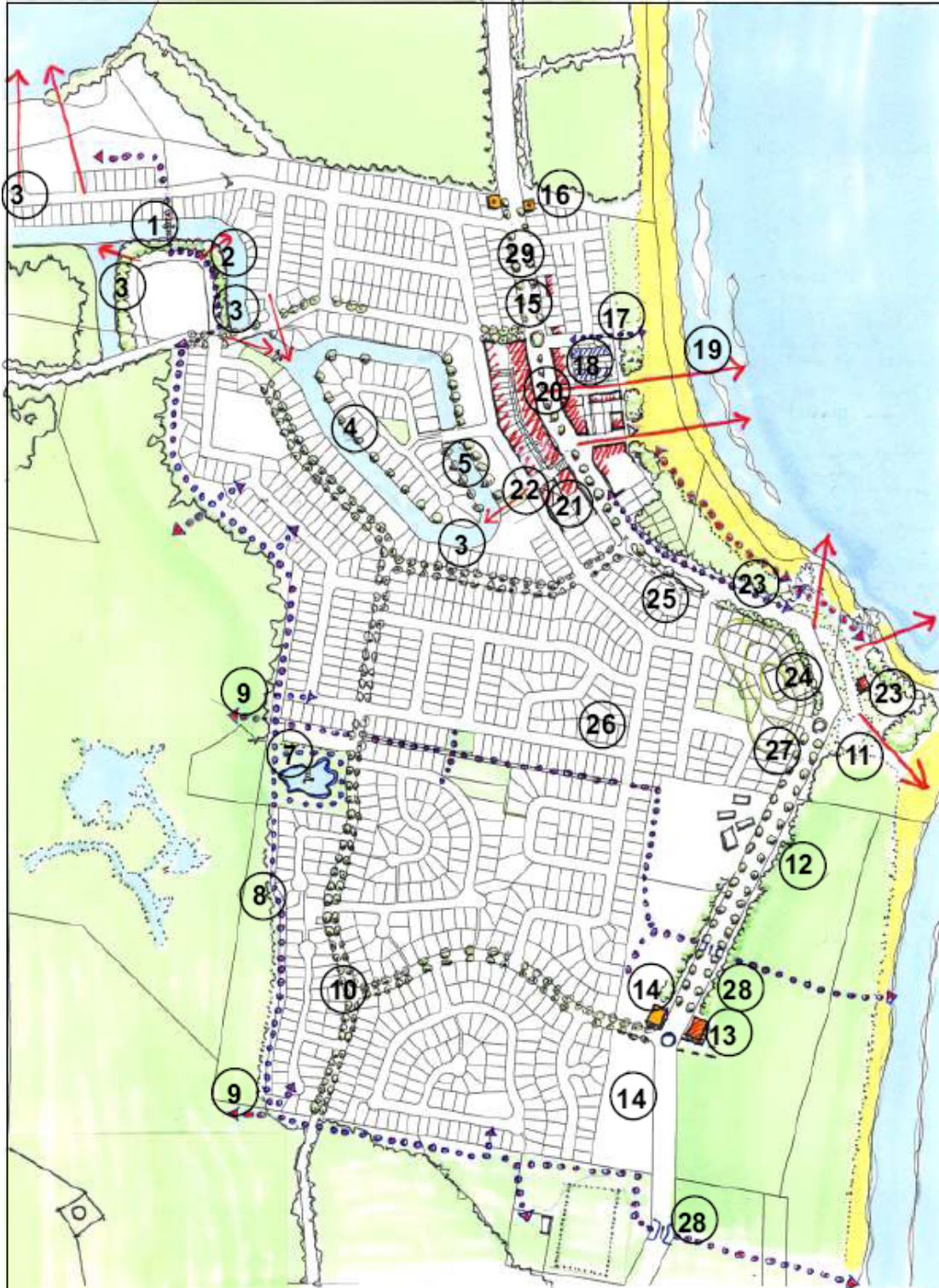
**Views:** Important view corridors to the Beach along Pandanus Parade and Palm Avenue will be respected by new developments. Design of new developments will preserve and compliment these view corridors.

#### **B19.2.4 Structure Plan**

The Structure Plan aims to implement the Vision and Plan Objectives through a number of Key Strategies identified in the more comprehensive local planning process recently undertaken by Council for the whole of Bogangar/Cabarita Beach. Whilst these major themes influence the form and content of the “whole of village” DCP/Locality Plan, the DCP is not necessarily the appropriate vehicle to achieve all outcomes identified by the Structure Plan. With this in mind, those strategies which are beyond the scope of the Bogangar/Cabarita Beach Locality Plan have been retained within the Structure Plan to guide future decision-making regarding the long term development of the village.

The Structure Plan also identifies a number of opportunity sites within the village centre that could incorporate new development to achieve the broader outcomes established by this Locality Plan. These opportunities are illustrated by the village Centre Design Concept and through the adoption by Council of a preferred Master Plan option for the Pandanus Parade Precinct.

### STRUCTURE PLAN



- ① Pedestrian bridge link across canal
- ② Public space (street) adjoining habitat & canal front
- ③ Enhance views to inland water bodies
- ④ Preserve canal front vegetation
- ⑤ Introduce canal front vegetation
- ⑥ Preserve open landscape character of residential streets; low fences; setback
- ⑦ Introduce recreational access to lake reserve
- ⑧ Establish walking track at village edge using bushfire protection zone
- ⑨ Consider opportunities to extend bush walking tracks into bushland especially to the top of Round Mountain
- ⑩ High priority streets for the introduction of shading trees in street pavement
- ⑪ Preserve soft/ informal landscape character of headland
- ⑫ Reinforce planted screening along Coast Road
- ⑬ Built elements define Bogangar "Southern Gate" possibly including service station & convenience store
- ⑭ Vegetation screening to urban expansion area
- ⑮ Avenue tree planting continuously along the coast road: Deciduous in main street zone, evergreen elsewhere
- ⑯ Emphasize village threshold with built form or art
- ⑰ Improve pedestrian beach access
- ⑱ Boost tourist accommodation in block between Cypress Crescent & Palm avenues
- ⑲ Good water views from main street
- ⑳ Avenue and median trees in main street zone
- ㉑ Buildings to align with lot line on main street
- ㉒ New pedestrian linkage from new Hastings Road carpark to main street
- ㉓ Improve pedestrian access from headland to main street
- ㉔ Coastal vegetation to soften appearance of built edge
- ㉕ Introduce roundabout at Towners or Banksia Avenue.
- ㉖ Possible Headland café building with integrates public toilet & showers
- ㉗ Low scale buildings only on hill top preserve predominance of landscape
- ㉘ Improve pedestrian crossing on alignment with beach access track
- ㉙ Cycleway through Village Centre



### VILLAGE CENTRE STRUCTURE PLAN



- ① Kerbline avenue tree planting to contain street space and calm traffic
- ② Introduce 40 Km/hr speed environment through town centre
- ③ Discourage further retail development north of Cypress Crescent Avenue until village centre is consolidated
- ④ Consider lot consolidation of council site and sites to the east to provide a large retail floor plate for supermarket and integrate large plate car park
- ⑤ Consider new pedestrian linkage in line with Hastings Lane entry
- ⑥ Special paving treatment in main street zone.
- ⑦ In Hastings Road service retail and commercial uses at ground level, with residential or commercial above
- ⑧ Provide new pedestrian linking stair. Hastings Road and main street Zone
- ⑨ New council car park multi storey with commercial or retail 'crust' facing Hastings Road
- ⑩ Preserve & enhance view to canal
- ⑪ Continuous street awnings on the coast road in the main street zone
- ⑫ Evergreen avenue on the coast road north & south of the main street zone
- ⑬ In Main Street Zone evergreen median planting & deciduous kerb side avenue
- ⑭ Nose to kerb parking in the streets between Coast Road and beach to boost peak demand parking capacity
- ⑮ Boost accommodation & density in area between Palm avenue & Cypress Crescent
- ⑯ Improve pedestrian beach access
- ⑰ Consider creating car - free zone in Pandanus Precinct
- ⑱ Preserve & enhance water views from the main street zone
- ⑲ Pedestrian crossing to access Pandanus precinct
- ⑳ Improved pedestrian access between Headland & centre including coast walk & street footpath
- ㉑ Consider round about or other turn around device at south end of main street zone
- ㉒ Consider water views to beach & canal from the head of new pedestrian stairway

## **Pedestrian and Cycle Linkages**

There are currently cycle linkages to the north and south of the Study area connecting it to Casuarina Beach and Kingscliff to the north and village of Hastings Point to the south. These existing cycleways are consistent with Tweed Shire Strategic Plan 2000+ and Council's Section 94 Plan No 22 – Cycleways.

Three possible alternatives regarding internal cycle linkages have been identified through the study area. The alternatives are:

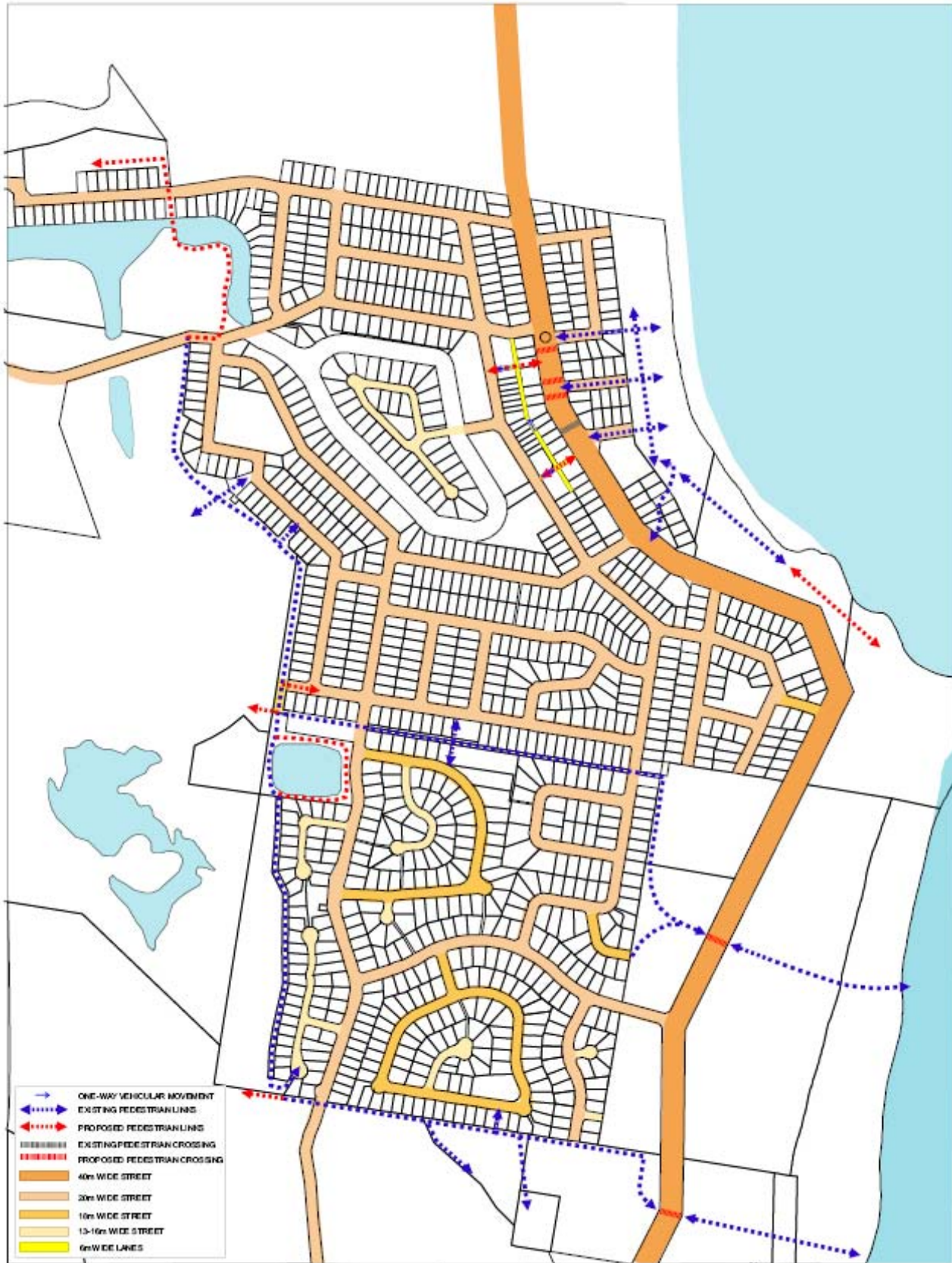
1. Extending the linkage from the north along the coastal foreshore, through Pandanus Parade, along Tweed Coast Road to Norries Headland;
2. Extending the linkage from the north along Hastings Road through to Tweed Coast Road to Norries Headland.
3. Extending the linkage from the north to the south along Tweed Coast Road through the centre of the study area.

All these options are considered to be viable. It is intended to prepare a comprehensive streetscape plan for Tweed Coast Road. It is envisaged the preferred cycle linkages can be integrated in the streetscape plan.

It is imperative that pedestrian linkages are effectively integrated within the study area. The pedestrian linkages most significant are considered to be those leading to the beach. Pedestrian access to the beach is provided through Cypress Crescent, Palm Avenue and Pandanus Parade. Pedestrian linkages connecting Hastings Road and car parking situated on Hastings Road to the commercial centre and the beach is to be provided through access easements between Hastings Road and Tweed Coast Road. Pedestrian access between the foreshore and the beach is readily available via established walking tracks through the dunal system.

New developments need to be designed appropriately to be sympathetic to, and enhance pedestrian and cycle environment throughout the study area.

## MOVEMENT AND LINKAGES



## **Views**

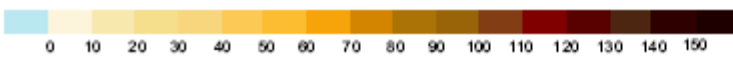
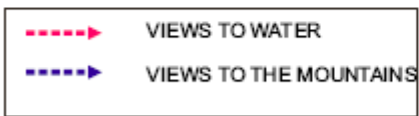
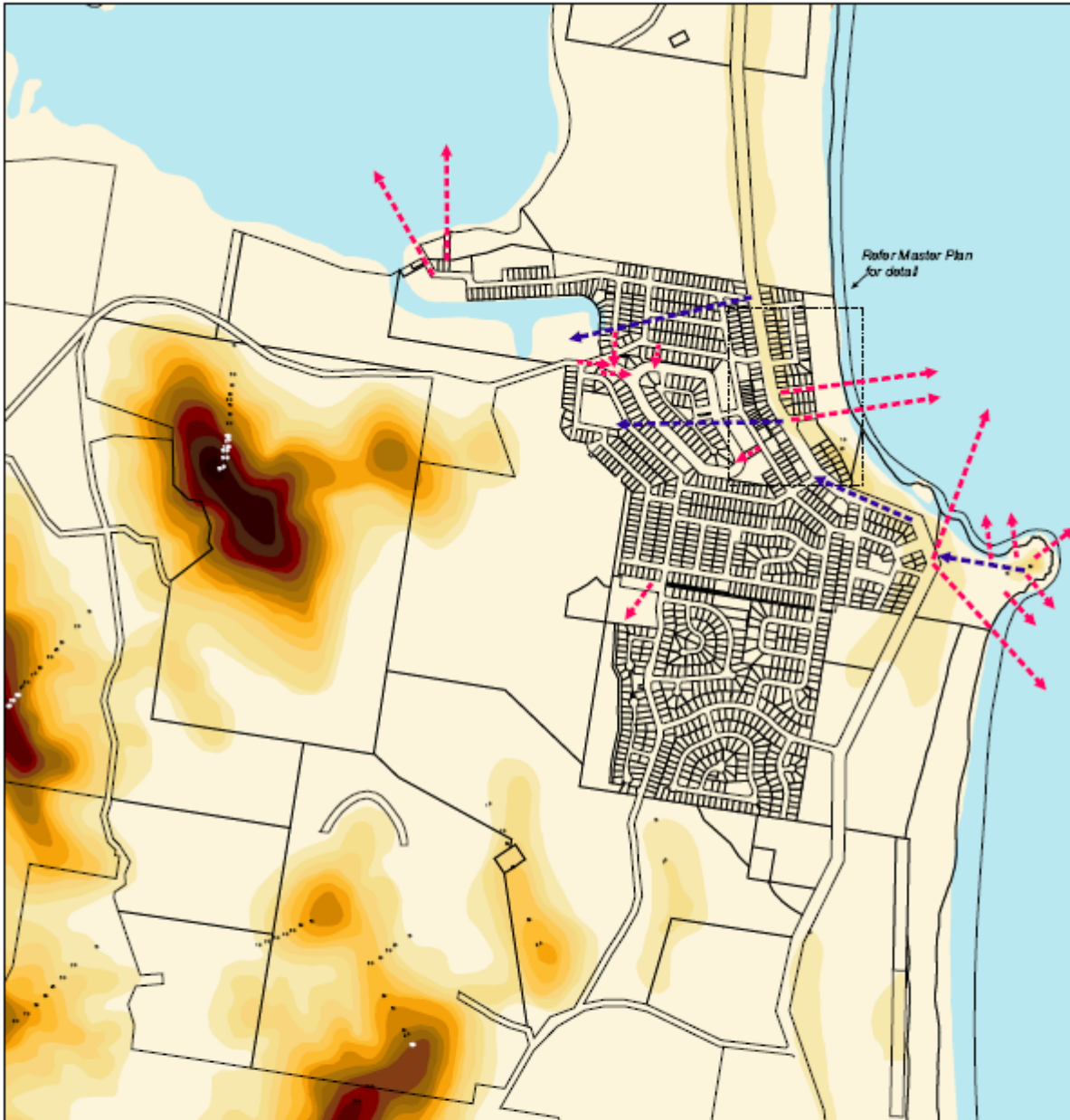
Views provide a sense of place and identity. Key view corridors should be retained and respected in the design of new buildings. Tall, bulky buildings in particular have the potential to adversely impact on view corridors. Careful consideration must be given to the design of buildings to minimise impact on key view corridors.

Key view corridors are considered to exist along Pandanus Parade and Palm Avenue. These corridors have views looking east toward the beach. These views from the main street to the ocean represent a very special character of the village and are important for the orientation of visitors.

There are a number of other significant views in and around the village. These include the spectacular ocean view as the coast rounds the headland and the sweeping views extending westward to the mountains. There are also important water views internal to the village, such as Cudgen Lake and the canal surrounding Reef Water Circuit.

Development along and within these view corridors is to be designed in a manner that preserves and enhances these view corridors. Obstruction of these view corridors, or urban design that is detrimental to these view corridors will not be permitted.

## VIEWS AND TOPOGRAPHY



## Streetscape

Tweed Coast Road is an arterial road traversing through the centre of the primary business district of Bogangar/Cabarita Beach. It plays a significant role as a vehicle mover, transporting vehicles along Tweed Coast Road, as well as playing an integral role in the economy of the local business community that benefits from the passing trade.

The existing streetscape of Tweed Coast Road is made up of a very wide carriage way containing, two lanes, car parking either side, and generous space between the parking bays and the shops to accommodate footpaths and grassed/concrete verges. The current design, although practical to cater for travelling through traffic, is not very pedestrian or cycle friendly. The road has been designed to facilitate vehicle movement up and down the Tweed Coast. The current design does not suitably slow motor vehicle traffic down through the village to facilitate pedestrians crossing the road.

Opportunities exist to make the section of Tweed Coast Road traversing through the village more pedestrian and cycle friendly, and to enable local shops to generate more trade from vehicular traffic. Streetscape options include:

- A wider more formalised pedestrian crossing;
- Provision of a roundabout and/or entry statement at the Banksia Street/Tweed Coast Road intersection to slow motor traffic entering the town centre from the South;
- Provision of a roundabout at the Palm Avenue intersection;
- Wider median strip treatment/realignment at the Pandanus Parade intersection;
- Formalisation of the existing painted traffic lines and median strip by concreting kerbs, providing for greater motorist vigilance slowing traffic down;
- Planting of median strip, and more landscaping along footpath easement;
- Provision of street furniture;
- Possible alteration to existing street car parking treatments;
- Provisions of cycle lane.

It is acknowledged that opportunities do exist for streetscape improvements along Tweed Coast Road and it is considered that the issue is best dealt with by the development of a comprehensive Streetscape Masterplan for the area. However, the options identified above are illustrated in the following diagrams and photos.

A variety of house types and landscape treatments exist in the residential streets of the village. In some areas, the street elevation is dominated by car parking structures, blind walls and high fences that do not permit visual connection to the street. Also, the road surface area in typical residential streets in the village is significantly wider than required for the local traffic volumes.

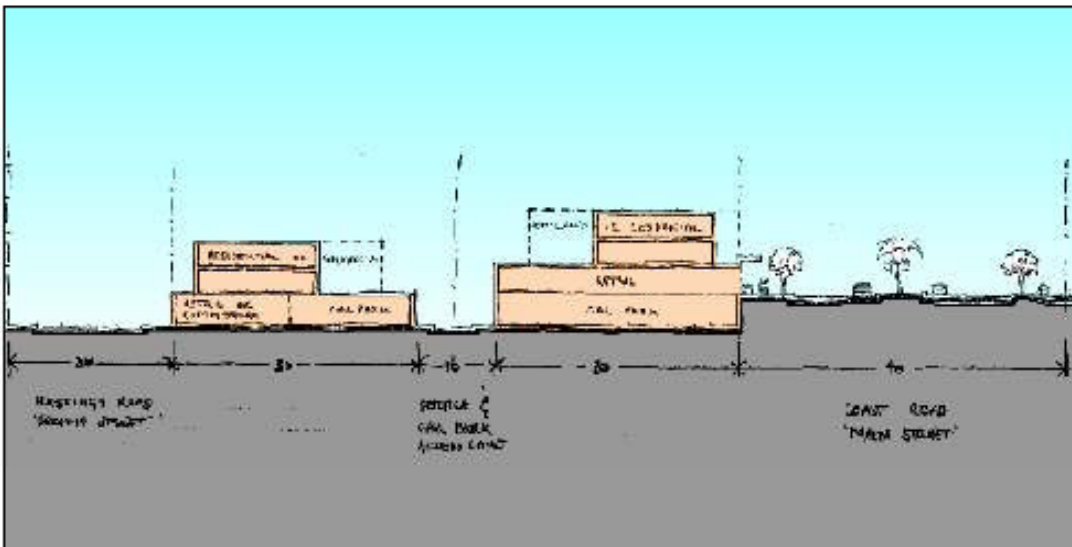
Opportunities exist to improve the character and amenity of the residential streets through the introduction of street tree planting into the parking lanes to shade the road surface and to reduce the perceived width of the road. In addition, the design of buildings with respect to retaining consistent setbacks, clear address to the street and an active space overlooking the street can contribute to the character of residential streetscapes.



VILLAGE CENTRE Main Street Cross -Section: With Parking Bays

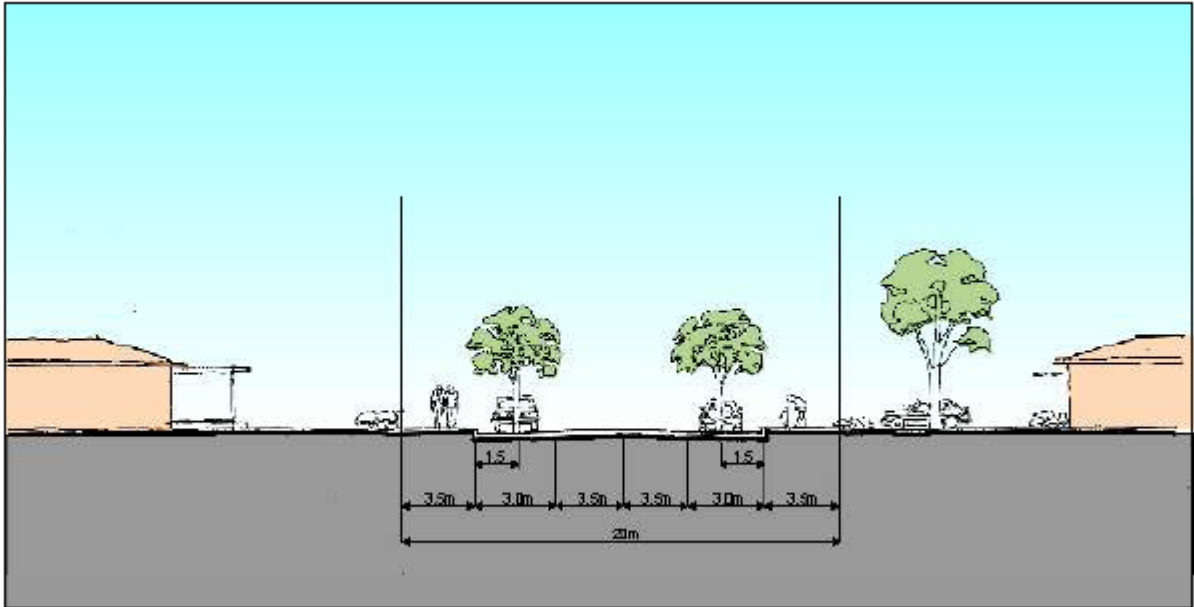


VILLAGE CENTRE Main Street Cross - section: No Parking Bays



VILLAGE CENTRE Coast to Hastings Road - Typical Cross Section





TYPICAL RESIDENTIAL STREET



Residential Streetscape: Existing



Residential Streetscape: Proposed

## Precincts

The Structure Plan divides Bogangar/Cabarita Beach into eleven precincts. The precincts are:

1. Coastal Foreshore Precinct
2. Open Space and Recreation Precinct
3. Detached Residential Precinct
4. Residential B Precinct
5. Cypress Crescent Precinct
6. Residential Tourist Precinct
7. Pandanus Parade Precinct
8. Southern Development Precinct
9. Special Uses Precinct
10. Tweed Coast Road Commercial Precinct
11. Hasting Road Commercial Precinct

**The Coastal Foreshore Precinct** covers land situated between the built urban environment and the sea. The precinct incorporates the foreshore, dunal system and the beach. This precinct helps provide a natural frame to the built environment and provides for passive and active recreational pursuits for the local community as well as tourists. The precinct extends from the urban boundary both to the north and south of Bogangar/Cabarita Beach and includes Norries Headland.

**The Open Space and Recreation Precinct** comprises the structured and unstructured parks, open spaces and organised sporting venues dispersed throughout Bogangar/Cabarita. These areas will continue to provide for the passive and active recreational pursuits of the local community.

**The Cypress Crescent, Detached Residential and Residential B** Precincts provide for both permanent residential and tourist accommodation. The Detached Residential Precinct currently provides for predominantly single detached dwelling houses throughout the majority of Bogangar. The strategy for this precinct is to maintain the low density character which caters largely for permanent residents. Residential B Precinct is to comprise of predominantly multi dwelling units and tourist accommodation. Multiple Dwelling unit design is to be regulated by the design provisions stipulated within Section A1 – Multi-Dwelling Housing of this DCP and the design guidelines specified within Clauses B19.9, B19.10 and B19.11 of this document. The Cypress Crescent Precinct is to be developed after Residential B Precinct has been comprehensively developed. This area is to contain a mix of dwellings and multi-units for both permanent and tourist accommodation.

**The Residential Tourist Precinct** comprises the north-western area of tourist development, adjacent to Cudgen Lake. This area has been substantially developed and it is not intended that this precinct be extended beyond its current bounds. The predominant land use in this area is to remain as an out-of-centre tourist precinct which predominately focuses on the recreation opportunities afforded by Cudgen Lake. Any future redevelopment of this precinct will demonstrate high quality environmental design and architectural merit.

**The Southern Development Precinct** is intended to provide for future greenfield development within the existing footprint of Bogangar. This area is to be developed cohesively within the character of the existing township, offering a mix of both low scale tourist and permanent residential accommodation and some supportive convenience retail/commercial activity that does not compete with the primary commercial function of the Village Centre.

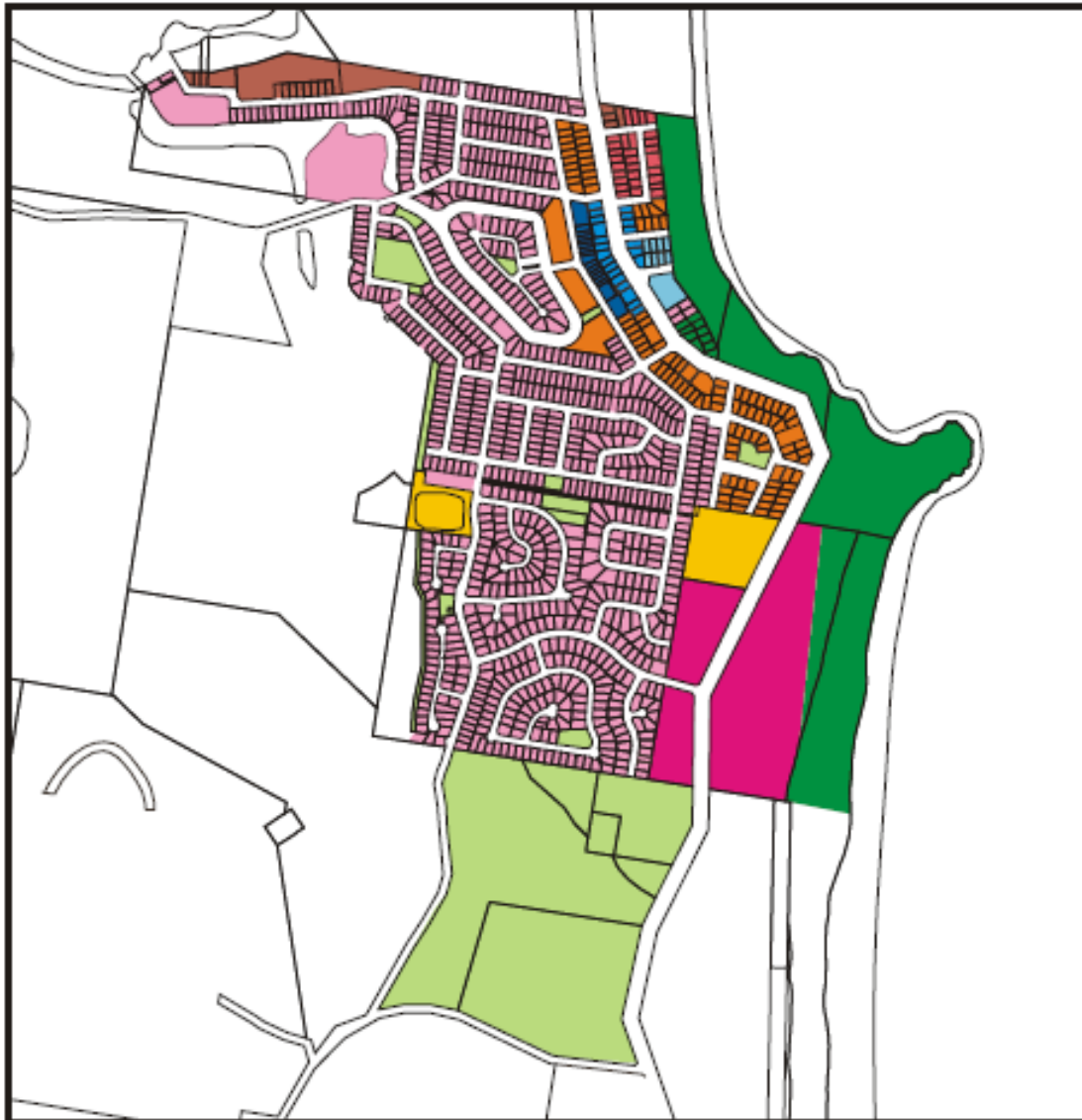
**The Special Uses Precinct** contains the School and Water treatment works. These uses will not be impacted upon by this Development Control Plan. Any future community uses of a similar nature could be included within the Special Uses Precinct.

**The Pandanus Parade Precinct** incorporates the 'Beach' Hotel/Resort, Surf Club, a private residence and the existing Council car park. This site is considered to be the focal point for the study area and is envisaged to undergo considerable transformation to reinforce the objectives for the precinct. The site is intended to be developed for a combination of commercial, tourist, residential, car-parking community and cultural purposes. The community and cultural experience are envisaged to be represented by the development of a village square/green. Development within the precinct will represent good quality urban design and reflect the beach village lifestyle and character of the area.

**The Tweed Coast Road Business Precinct** incorporates land zoned 3(b) General Business and some 2(b) Residential along Tweed Coast Road. Development of this area is intended to reinforce the existing village business/commercial land use and promote mixed use development with commercial/retail uses accommodated on the ground floor with residential tourist uses being provided on levels above ground. This precinct will exhibit outstanding urban design contributing to a vibrant commercial streetscape.

**The Hastings Road Commercial Precinct** incorporates predominantly the 3(b) General Business zoned land along Hastings Road. This precinct is envisaged to provide for a mix of land uses including commercial, residential and tourist development. This precinct is also intended to provide for a major public car parking facility to meet local community and visitor needs.

## PRECINCT MAP



- |   |  |
|---|--|
|  Detached Residential Precinct |  Pandanus Parade Precinct             |
|  Cypress Crescent Precinct     |  Tweed Coast Road Commercial Precinct |
|  Residential 'B' Precinct      |  Hastings Road Commercial Precinct    |
|  Southern Development Precinct |  Coastal Foreshore Precinct           |
|  Residential Tourist Precinct  |  Open Space & Recreation Precinct     |
|  Special Uses Precinct         |  |

## **B19.3 COASTAL FORESHORE PRECINCT**

### **B19.3.1 Background**

This land is zoned 6(a) Open Space and 7(a) Environmental Protection (Wetlands and Littoral Rainforests) pursuant to Tweed LEP 2000. The precinct encapsulates the beach, the dunal system, Norries Headland and the corridor of open space between the vegetated dunes and urban buildings. This precinct accommodates a variety of roles including passive and active recreation, as well as preservation of the natural environmental assets within the precinct. Recreational experiences are obtained through various activities undertaken on the beach and through residents and tourists utilising grassed area between the built form and the vegetated dunes as a walking trail.

The built environment along the eastern boundary is predominantly made up of single detached dwellings with the exception of Pandanus Parade where the 'Beach' Hotel/Resort and the Surf Life Saving Club are located. The Hideaway Beach Resort and the Cypress Court Units located on Cypress Crescent also has frontage onto the Coastal Foreshore Precinct.

Access tracks to the beach are located at Pandanus Parade, Palm Avenue, both ends of Cypress Crescent and at intermittent points along the dunal system that have been created over time by pedestrians.

The dunal system separating the beach from the built environment appears relatively well vegetated, dispersed by beach access trails, and a long grassed walking trail along the western boundary. Although, the majority of the vegetation appears healthy there is an opportunity to rehabilitate and revegetate certain areas.

South of the Village Centre, the precinct is bounded to the west by Tweed Coast Road. The vegetation changes from littoral rainforest to sparser, health plants, trees and grassland as the road climbs to the headland car park. The car park provides pedestrian access to the beach and headland and is a popular destination during the warmer months. It also affords commanding views to the north along the coast, overlooking the Village Centre.

The built environment along the western frontage of Tweed Coast Road is made up of a mixture of detached dwellings, multi-unit dwellings and tourist accommodation ranging in height from one to three storeys. Existing development is predominantly set below the established road level due to the topography of this part of the precinct.

The southern part of this precinct forms the eastern border of the Southern Development Precinct and comprises dunal vegetation. Access to the beach is available through informal tracks that have been created overtime by pedestrians.

### **B19.3.2 Precinct Objectives**

The objectives of the Coastal Foreshore Precinct are to:

- Protect and enhance the natural environment (dunal system, vegetation, and the beach system).
- Provision of limited access to the beach through approved specified access tracks.

- Encourage development of foreshore/beautification improvements through the provisions of tables, bench seating, amenities, shaded areas, viewing areas and the like.
- Formalise the area adjacent to the Pandanus Parade Precinct through the development of a Foreshore Masterplan for the area.
- Prohibit development not consistent with an approved Foreshore Masterplan.
- Provide for suitable pedestrian linkages between the village and the beach.
- Ensure effective integration between the natural environment and adjoining land uses and Precincts.

### **B19.3.3 Strategic Policies**

The Coastal Foreshore Precinct encapsulates the qualities that make Bogangar / Cabarita Beach an attractive and desirable destination for residents and tourists. The environmental characteristics of the beach are what exemplify the laid back, peaceful and natural lifestyle of the village and its residents. It is imperative that these qualities are enhanced to ensure the amenity and character of the area is preserved.

The Coastal Foreshore Precinct, whilst possessing the essential natural environmental qualities of the area, provides an opportunity to further enhance these qualities and make it even more accessible to residents and tourists. There is opportunity to:

- Undertake rehabilitation of the dunal areas;
- Formalisation of pedestrian linkages to the beach;
- Formalisation of walking trail along the western side of the Precinct;
- Provision of bench seating, picnic tables, shelters, amenities and viewing platforms;
- Provision for improved community facilities within the headland car park including public amenities and small kiosk.

Foreshore/beautification improvements within this precinct are to be undertaken in accordance with a Council approved Foreshore Management Plan for the area.

### **B19.3.4 Preferred Outcomes**

Development in the Coastal Foreshore Precinct may be supported where the proposal is in accordance with:

- The Vision for Bogangar / Cabarita Beach.
- This Precincts Objectives and Strategic Policies outlined above.
- Foreshore Management Plan for the area adopted by Council.
- The Tweed Coast Reserve Plan of Management, 1997.
- Tweed Shire Coastline Management Plan.

**COASTAL FORESHORE PRECINCT**



## **B19.4 OPEN SPACE AND RECREATION PRECINCT**

### **B19.4.1 Background**

The Open Space and Recreation area includes all those parcels of land within the village boundary zoned for open space and recreation purposes. This includes public parks reserves and local sporting facilities. These spaces are variable in size and function. The provision of formally arranged recreation equipment varies throughout the precinct, however, all provide areas of open space which residents and visitors are able to use for the purpose of passive and/or active recreation.

The parks are generally grassed open space with some children's play infrastructure. The sports grounds are more formalised and include a football oval, clubhouse and skate park. The area adjacent to the sports fields is currently undeveloped, however, has been earmarked for future use as formalised sports grounds. This area has the potential to act as a regional sporting hub.

The precinct also contains the Bogangar/Cabarita Beach Bowls Club. This site is zoned Open Space 6(b) – Recreation and acts as an important community hub and meeting place as well as providing organised sporting and social activities for village residents and visitors alike.

The intent of this precinct is to retain, maintain and promote the diversity of open spaces within Bogangar/Cabarita Beach, offering alternative spaces to the Foreshore area and beach. These spaces will mostly be developed by Tweed Shire Council possibly in conjunction with State and Federal Government grants and/or private providers.

### **B19.4.2 Precinct Objectives**

The objectives of the Open Space and Recreation Precinct are to:

- Retain existing open space areas and level of infrastructure.
- Improve the quality of open spaces to encourage active and passive usage.
- Further develop open space areas to strengthen the sporting uses to the township's south.
- Ensure safety of open spaces so as to promote usage for all people.

### **B19.4.3 Strategic Policies**

The Open Space and Recreation Precinct affords residents and visitors to Bogangar/Cabarita Beach a diverse choice of passive and active recreation opportunities. The community network created by the formalised sporting and recreation venues enhances the social fabric of the village. The compact nature of the urban pattern and the close relationship of many open space areas with the natural environment also enhances the quality of parts of the precinct.

Due to the continued pressures of growth and development and community expectations for quality open space environments, opportunities exist to improve the opportunities afforded by the Open Space and Recreation Precinct. These include;

- Investigate opportunities to expand the existing sporting facility in the southern part of the precinct.
- Enhance and improve the visual amenity of linkage between open space areas.



- Develop the open space network to reinforce the distinctive character of Bogangar/Cabarita Beach.

#### **B19.4.4 Preferred Outcomes**

Development in the Open Space and Recreation Precinct will be supported where the proposal does not compromise the environmental qualities or recreation function and is consistent with:

- The Vision for Bogangar/Cabarita Beach.
- The Precinct Objectives and Strategic Policies outlined above.

## OPEN SPACE & RECREATION PRECINCT



## **B19.5 DETACHED RESIDENTIAL PRECINCT**

### **B19.5.1 Background**

This land is currently zoned 2(a) Low Density Residential. The precinct encapsulates the majority of land within Bogangar/Cabarita Beach, being detached residential dwellings. This precinct accommodates a variety of land uses within the area including predominantly single detached dwelling houses (1-2 storey), multi-unit dwellings, holiday tourist accommodation, and vacant land.

The objective of the 2(a) Zone is to provide for a low-density residential environment with a predominantly detached housing character. It is intended to provide a variety of housing types with good urban design outcomes whilst ensuring density and scale objectives are observed. The 2(a) Zone also provides for non-residential development that is domestically based or services local community needs and does not detract from the residential amenity of the area.

### **B19.5.2 Precinct Objectives**

The objectives of the Detached Residential Precinct are to:

- Compliment the existing single detached dwelling character and amenity of the precinct.
- Ensure development of the area is undertaken so that it is sympathetic to its surroundings.
- Encourage landscape design that compliments the low density residential environment.

### **B19.5.3 Strategic Policies**

The Detached Residential Precinct has established a traditional beachside village character. It is characterised by single detached dwellings built close to the beach, set in a tranquil peaceful surrounding. It is intended that development within this precinct compliments and enhances the existing built character and amenity of the locality.

A significant visual element of the precinct is the local street network and the associated landscape component. Opportunities exist to improve the appearance, character and amenity of the residential streets by identifying opportunities for the introduction of street planting.

These lands are currently zoned 2(a) Low Density Residential, as such for any of the future uses referred to above (commercial, medium density residential, tourist accommodation) to occur an amendment to Tweed LEP 2000 will need to be effected by way of a rezoning and be undertaken in accordance with the Environmental Planning and Assessment Act 1979. These actions will need to be effected by the landowner and/or proponent of the proposed development.

In the longer term, other land within this precinct may be suitable for medium density style development, however this is only envisaged to occur once the majority of land zoned 2(b) Medium Density with the Bogangar/Cabarita Beach village is developed and land availability within the village is reduced.

### **B19.5.4 Preferred Outcomes**

Development in the Detached Residential Precinct may be supported where the proposal does not detract from the amenity of the area and is consistent with:

- The Vision for Bogangar/Cabarita Beach.
- The Precinct Objectives and Strategic Policies outlined above.
- The development design guidelines stipulated within Clauses B19.15 and B19.16 of this Section.
- A Streetscape Improvements Plan and/or Traffic Management Plan to be prepared for the locality.
- Tweed Coast Reserve Plan of Management.
- Tweed Shire Coastline Management Plan.

The preferred outcome for the Precinct will realise:

- Retention of the majority of the area for single detached dwelling purposes.

**DETACHED RESIDENTIAL PRECINCT**



## **B19.6 RESIDENTIAL B PRECINCT**

### **B19.6.1 Background**

This land is currently zoned 2(b) Medium Density Residential. The precinct encapsulates land zoned 2(b) bounded by Banksia Avenue, Tweed Coast Road, Hastings Road and the southern end of the Business Precinct. This precinct accommodates a variety of medium density residential development. The precinct is located along the eastern portion of the study area and extends to the north and south of the Tweed Coast Road Commercial Precinct. The residential B Precinct includes all land within the east of Hastings Street and Towners Avenue which is not included in any other precinct and the multi-unit developments to the west of Hastings Street, which is part of the recent canal development in Bogangar's centre. A large proportion of this precinct is currently developed for multi-unit dwellings, particularly short term tourist accommodation. This area will undergo redevelopment to ensure a more compact urban form can be achieved within this precinct.

The objective of the 2(b) Zone is to provide for and encourage development for the purpose of medium density housing that achieves good urban design. The 2(b) zone also provides for tourist accommodation that is compatible with the character of the surrounding locality.

### **B19.6.2 Precinct Objectives**

The objectives of Residential B Precinct are to:

- Encourage medium density residential development consistent with the objectives of the existing 2(b) zone.
- Ensure outstanding innovative urban design is achieved in medium density development.
- Ensure development is undertaken in accordance with the development guidelines outlined within this Section as well as Section A1 – Multi-Dwelling Housing.
- Ensure development of the area is undertaken so that it is sympathetic to its surroundings and compliments adjoining precincts.

### **B19.6.3 Strategic Policies**

The Residential B Precinct has established a medium density character on the southern periphery of the village centre. It is characterised by a variety of medium density development including duplexes, triplexes and various sized unit developments. It is intended that development within this precinct will enhance the character of the area through high quality urban design.

From a land use context, medium density style of development will remain the predominant land use within this precinct. The purpose of this Section is to ensure medium density development is undertaken in a manner that is consistent with the amenity and urban context of the locality and exhibits a high quality of urban design reflecting the coastal village beach character of Bogangar/Cabarita Beach. Development in the area is intended to have a maximum height consistent with the provisions of Tweed LEP 2000, provide an interesting and interactive visual façade to the main street, be sympathetic to adjoining land uses and importantly exhibit innovative urban design.

The parts of the Precinct between Cypress Avenue and Palm Avenue and directly to the west of the Hastings Road Commercial Precinct are currently zoned Residential 2(a) and Residential 2(c), respectively. Due to the current uses and strategic location in proximity to the village centre, Council will rezone these areas to be included in the Residential 2(b) Zone.

Section A1 - Multi Dwelling Housing establishes design guidelines for medium density development throughout the Shire. This Section supports Section A1 – Multi-Dwelling Housing and provides further design guidelines pertinent to the Bogangar/Cabarita Beach locality. Both Section A1 and this Section should be read concurrently. Where there is an inconsistency in guidelines between the provisions of this Section and that of Section A1, this Section over-rides the provisions of Section A1.

#### **B19.6.4 Preferred Outcomes**

Development in the Residential B Precinct may be supported where the proposal reflects outstanding urban design standards applied to medium density style development and contributes positively to the character and amenity of the area. Medium Density residential development must be in accordance with:

- The Vision for Bogangar/Cabarita Beach.
- The Precinct Objectives and Strategic Policies outlined above.
- The development design guidelines stipulated within Clauses B19.15 and B19.16 of this Section.
- The design guidelines outlined within Section A1 – Multi-Dwelling Housing.

# RESIDENTIAL B PRECINCT





## **B19.7 CYPRESS CRESCENT PRECINCT**

### **B19.7.1 Background**

Cypress Crescent is a horseshoe shaped street with both ends of the street leading out to Tweed Coast Road. The majority of buildings along Cypress Crescent are single detached dwellings (1 and 2 storey). Some of these dwellings are holiday let, taking advantage of the area being a popular tourist destination, especially during the holiday periods. The Cypress Court units and the small caravan park and shops at the northern intersection of the Tweed Coast Road make up the rest of the built environment on Cypress Crescent. This precinct is intended to be developed as a secondary growth area, once the Residential B Precinct has been comprehensively developed.

### **B19.7.2 Precinct Objectives**

Development within the Cypress Crescent area should be sympathetic with the existing built form of the township.

- Allow for higher densities and tourist accommodation within close proximity to Cabarita Beach in the longer term;
- To provide space for the continued growth of Bogangar within the boundary of the existing urban area; and
- To ensure development reflects and complements the exiting lower density character of the remainder of Bogangar.

### **B19.7.3 Strategic Policies**

The Cypress Crescent Precinct has established a traditional beachside village character. It is characterised by single detached dwellings built close to the beach, set in a tranquil peaceful surrounding. It is intended that development within this precinct compliment and enhance the existing built character and amenity of the locality.

There are currently a mix of land uses along Tweed Coast Road, including single detached dwellings, commercial activities, a caravan park, and vacant land. Development of the land north of the roundabout (intersection with Cypress Crescent) is not intended to change significantly. It is anticipated that existing land uses will be reinforced and consolidated.

Although the majority of development currently consists of single detached dwellings, there is opportunity for multiple dwelling unit and/or tourist accommodation infill development. This is particularly the case for land situated between Palm Avenue and the southern end of Cypress Crescent. The allotments fronting onto Tweed Coast Road are envisaged to be developed for mixed use purposes with commercial/retail uses on the ground floor and residential/tourist accommodation above.

This style of development will compliment and enhance a vibrant commercial streetscape within the main business area of the village. Allotments within this locality, not having frontage onto the Tweed Coast Road, have the most likely potential to be developed for tourist accommodation or multiple dwelling unit purposes. This is particularly the case for the vacant land on Cypress Crescent. This land has the potential to be developed into an integrated mixed use development (combination of tourist accommodation, permanent residential multi-dwelling units and commercial activities) that can compliment and expand on the

existing Hideaway Motel development. Integration of innovative urban design is an integral element to the development of this site.

The beach village character of the area is to be preserved. The land along the northern side of Palm Avenue is envisaged to remain in its existing single detached dwelling amenity but has the potential to be developed for medium density purposes given its close proximity to the business centre of the village and the tourist attraction of the beach. Similarly, effective urban design consistent with the beach amenity of the area is to be observed if redevelopment of these lands is to occur.

These lands are currently zoned 2(a) Low Density Residential, as such for any of the future uses referred to above (commercial, medium density residential, tourist accommodation) to occur an amendment to Tweed LEP 2000 will need to be effected by way of a rezoning and be undertaken in accordance with the Environmental Planning and Assessment Act 1979. These actions will need to be effected by the landowner and/or proponent of the proposed development.

In the longer term, other land within this precinct may be suitable for medium density style development, however this is only envisaged to occur once the majority of land zoned 2(b) Medium Density within the Bogangar/Cabarita Beach village is developed and land availability within the village is reduced.

#### **B19.7.4 Preferred Outcomes**

Development in Cypress Crescent Precinct may be supported where the proposal does not detract from the amenity of the area and is consistent with:

- The Vision for Bogangar/Cabarita Beach.
- This Precincts Objectives and Strategic Policies outlined above.
- The development design guidelines stipulated within Clauses B19.14, B19.15 and B19.16 of this Section.
- A Streetscape Improvements Plan and/or Traffic Management Plan to be prepared for the locality.
- Tweed Coast Reserve Plan of Management.
- Tweed Shire Coastline Management Plan.

The preferred outcome for the locality will realise:

- Retention of the majority of the area for single detached dwelling purposes, in the short term.
- Potential for medium density residential development and/or tourist accommodation in the long term for the remainder of the precinct. This will be dependent on the availability of land zoned 2(b) Medium Density Residential within the village of Bogangar/Cabarita Beach.

**CYPRESS CRESCENT PRECINCT**



## **B19.8 RESIDENTIAL TOURIST PRECINCT**

### **B19.8.1 Background**

This precinct is located within that part of the village zoned 2(e) – Residential Tourist. The larger portion is adjacent to Cudgen Lake in the township's north-west. This land is almost entirely developed with a small area of undeveloped land capable of accommodating future development. A smaller parcel of land zoned for tourist accommodation is also at the corner of Tweed Coast Road and Cypress Crescent. This site currently contains a small, privately-owned caravan park and small-scale retail facilities, which may be subject to development pressure or change in the foreseeable future.

Any development in this precinct should reflect the existing character of the precinct, being three storey tourist accommodation. It is not anticipated that this precinct be extended as it could undermine the intensification of the village centre and land in the nearby Residential 'B' Precinct.

The location of the precinct, being mostly adjacent to Cudgen Lake, should be maximised and reflected in the design of any future buildings. Any future redevelopment of this Precinct should be retained for tourist accommodation.

### **B19.8.2 Precinct Objectives**

The objectives of the residential Tourist Precinct are to:

- Retain the level of amenity for adjacent residential areas and users of nearby recreation areas including Cudgen Lake.
- Ensure that an appropriate density of development is retained, which reflects the existing development in the precinct and surrounding residential areas.
- Contain any tourist development within the bounds of the precinct, ensuring the consolidation of tourist accommodation within this area of Bogangar.

### **B19.8.3 Strategic Policies**

The sites identified within the Tourist Residential Precinct are intended to be developed as integrated tourist facilities consisting of predominantly accommodation units with attendant facilities to cater for the needs of short-stay guests.

The built form is to be low to medium rise, and is to respect the topographical features of individual sites. Where established native vegetation exists, development should be designed to integrate with the identified vegetation.

The environmental performance of each site should reflect its close proximity to significant environmental features such as Cudgen Lake and the adjoining National Park. Improved public access to these features should be considered a high priority in any redevelopment of the sites.

### **B19.8.4 Preferred Outcomes**

Development in the Residential Tourist Precinct may be supported where the proposal does not detract from the amenity of the area and is consistent with:

- The Vision for Bogangar/Cabarita Beach.
- This Precinct Objectives and Strategic Policies outlined above.

- The development design guidelines stipulated within Clauses B19.14, B19.15 and B19.16 of this Section.

## RESIDENTIAL TOURIST PRECINCT



## **B19.9 PANDANUS PARADE PRECINCT**

### **B19.9.1 Background**

The Pandanus Parade Precinct provides the village's most prominent access to the beach and foreshore. The precinct currently accommodates the 'Beach' Hotel/Resort, the Surf Life Saving Club, public car parking, and a private residence. By its nature, location and the land uses offered within the area a significant portion of the community and tourists are attracted to this focal point creating a sense of public space.

This precinct is currently covered by a number of different land use zonings including; 3(b) General Business, 5(a) Surf Life Saving, 5(a) Car Parking, and 2(a) Low Density Residential. The distribution of these zonings is illustrated in B19 – Map 2.

The 'Beach' Hotel/Resort has been developed to ensure the future integration of the development with any potential community development in and around the new surf club. The development has ground floor tenancies able to be developed for the purposes of a restaurant or pub and opens seamlessly into the public domain. Any new development should have a partial element of community space, offering a transition between the commercial nature of the Tweed Coast Road Commercial Precinct and the public open recreational space of the Foreshore Precinct.

As part of the preparation of the Bogangar/Cabarita Beach Locality Plan, Council prepared Master Plan Options for the Pandanus Parade Precinct. The master plan identified a series of options including a community option, a development option and a mixed community/development option. The community option and mixed community/development option were developed to a greater detail and the master plan document formed part of the material presented and displayed throughout the public exhibition period during January and April 2007. These documents are available from Council by request.

Correspondence received during the exhibition of the draft Plans clearly indicated that support for either of the two options detailed in the Master Plan was not evident. Subsequently an alternative option was developed and is the basis of the controls identified within this Section for the Pandanus Parade Precinct.

### **B19.9.2 Precinct Objectives**

The objectives of the Pandanus Parade Precinct are to:

- Provide for a vibrant cultural and open space precinct that allows for a variety of commercial and community-based uses that satisfy economic demand and community needs.
- Ensure that the physical and visual connections between the precinct and the beach and foreshore area is retained, protected and enhanced.
- Provide for a high standard integrated mixed-use development enabling commercial and community-based activities on the ground floor and tourist or residential accommodation above.
- Strengthen the village centre through high quality urban design and streetscape improvements.

- Encourage a local building aesthetic that responds to the subtropical climate of the area, preserves important view corridors, and is representative of the local village character.
- Cater for retail, business, social and recreational needs of the community.
- Cater for parking demands generated by the variety of uses within and adjacent to the precinct.

### **B19.9.3 Strategic Policies**

The Pandanus Parade Precinct is important to the future success of the village. The final design of the precinct will need to be accommodating to the changing needs of the people who visit and frequent the area.

It is important that the preferred outcome fosters the relationship the precinct has with adjoining areas and recognises the strategies that have been developed for surrounding landuses. The preferred vision for the precinct attempts to balance the community's aspirations with the environmental and scenic attributes of the area and the village.

The identified outcomes for the Pandanus Parade Precinct have been proposed to be implemented in two distinct stages, which are illustrated in B19 – Map 3 and B19 – Map 4.

The first stage is to be implemented over a short-timeframe and includes:

- Bulk of the subject area divided into open space and car-parking;
- Development of Council owned land, to a height of 13.6 metres, limited to the area immediately west of the surf club.
- Part pedestrianisation of Pandanus Parade (to the western wall of the surf club).

Additional open space is to be provided should the identified car-parking be located underground.

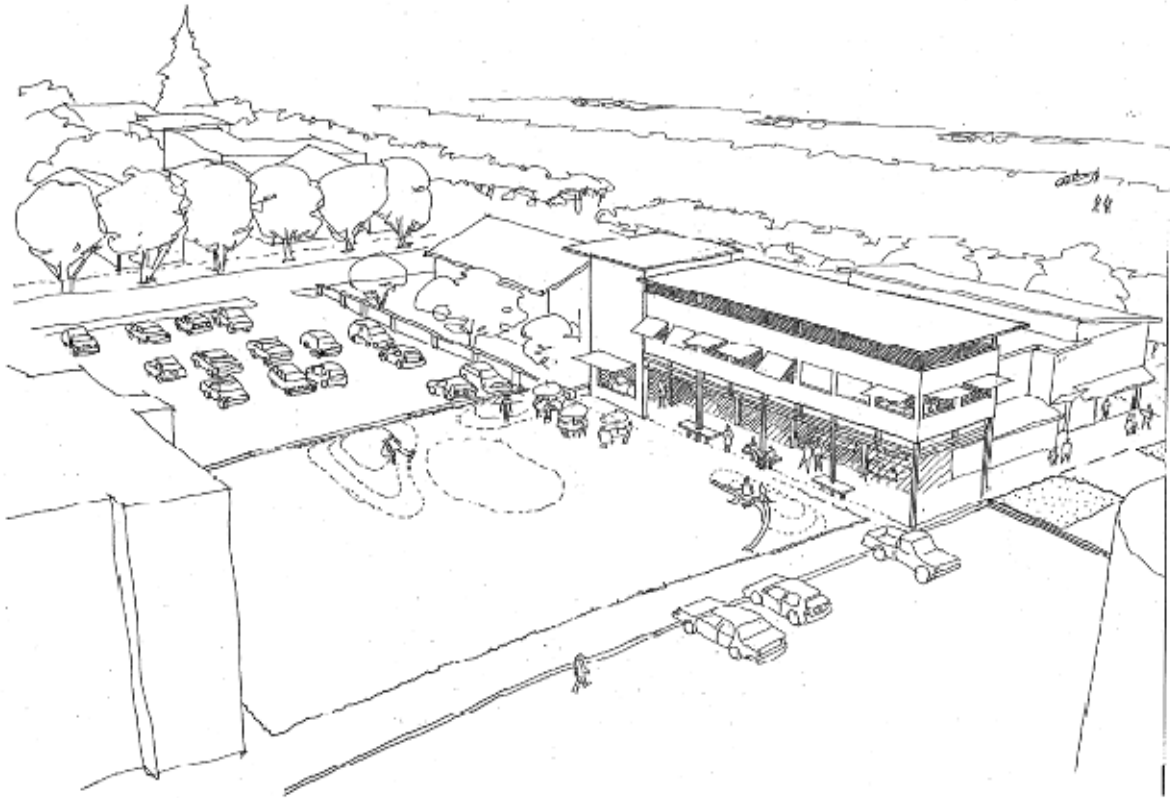
The second stage, which is only to be implemented subject to further community consultation and Council debate includes:

- Bulk of the subject area divided into open space and mixed-use development.
- Additional part development of Council owned land for mixed use purposes. Includes varying building heights but is to be no greater than a height of 13.6 metres.

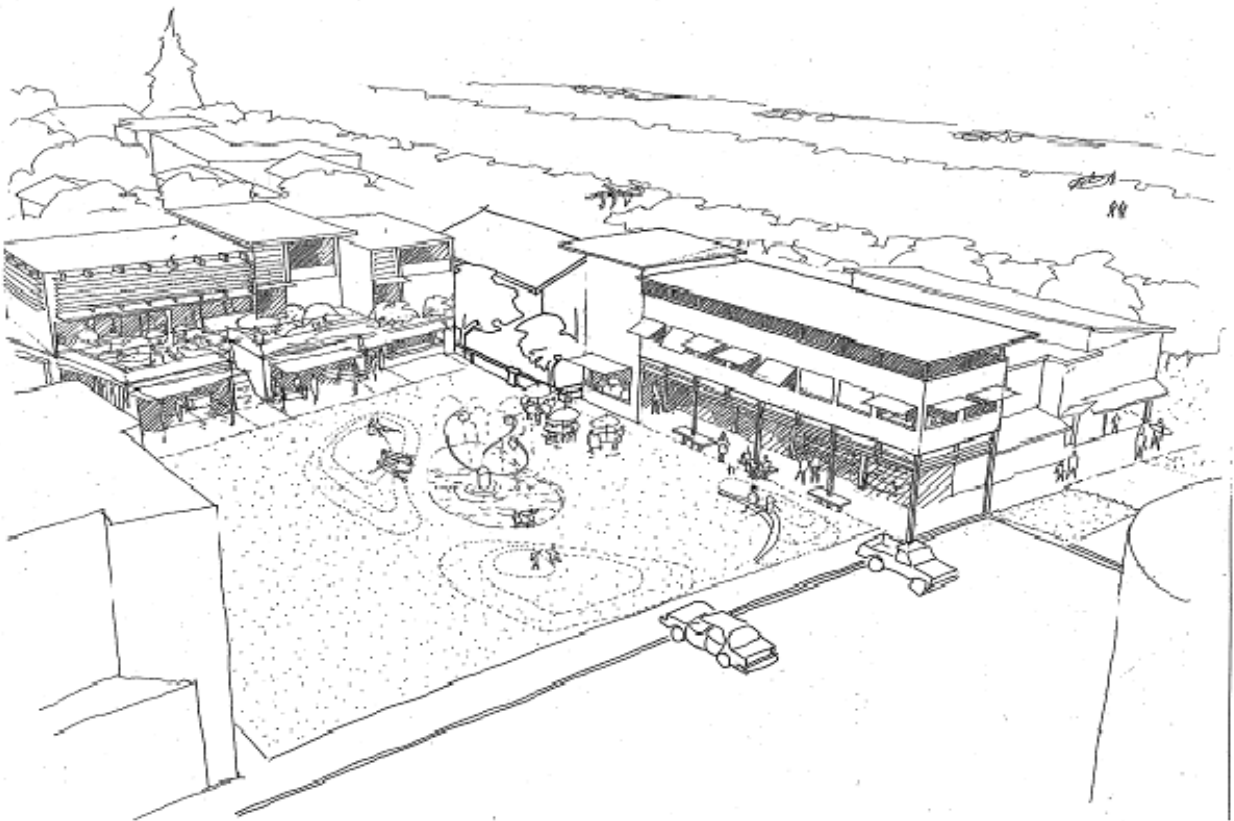
It is envisaged that the Pandanus Parade Precinct will have good connections with the Coastal Foreshore Precinct and will serve as a multi-purpose space for community events such as surf life saving carnivals and markets.



**B19 – Map 3 – Pandanus Parade Precinct Preferred Option (Stage 1)**



**B19 – Map 4 – Pandanus Parade Precinct Preferred Option (Stage 2)**



#### **B19.9.4 Preferred Outcomes**

Development in the Pandanus Parade Precinct will demonstrate outstanding urban design and be of high architectural merit. Development within this precinct may be supported where the proposal is in accordance with:

- The Vision for Bogangar /Cabarita Beach.
- This Precincts Objectives and Strategic Policies outlined above.
- The development design guidelines stipulated within Clauses B19.14, B19.15 and B19.16 of this Section.
- A streetscape Improvements Plan and/or Traffic Management Plan to be prepared for this precinct.

The preferred outcome for the Pandanus Parade Precinct will realise:

- Development of this area as the cultural and recreational hub of the village.
- Development of mixed-use development (community/retail on ground floor and tourist/residential accommodation above) consistent with the preferred option outlined above.
- Development of a Streetscape Improvement Plan for Pandanus Parade, Palm Avenue and any new public roads created through the implementation of this Section.
- Potential rezoning of Lot 1 DP 1083851, Lots 4 & 5 Section 5 DP 29748 and Lots 10 & 11 Section 5 DP 31209 to enable the implementation of the preferred option identified above. This rezoning to be undertaken in accordance with the Environmental Planning and Assessment Act 1979. This rezoning is to be stimulated by Council or the landowner.

**PANDANUS PARADE PRECINCT**



## **B19.10 SOUTHERN DEVELOPMENT PRECINCT**

### **B19.10.1 Background**

The Southern Development Precinct comprises three large parcels of undeveloped land to the south and east of the existing school. The two sites to the western side of Tweed Coast Road are located in the Residential 2(c) – Urban Expansion Zone. These parcels are currently Crown land and adjoin land committed to urban development.

The remainder of this precinct is located in the Open Space 6(a) Zone to the east of the Tweed Coast Road. This site has been earmarked for a future potential caravan park however this decision has not been endorsed by Tweed Shire Council.

### **B19.10.2 Precinct Objectives**

The objectives of the Southern Development Precinct are to:

- Ensure that the Southern Development Precinct compliments and is integrated with the established low density residential character of land located to the west.
- Ensure that the development of the Urban Expansion Zone is integrated with established urban development with respect to access and open space linkages.

### **B19.10.3 Strategic Policies**

This precinct forms the southern gateway into Bogangar/Cabarita Beach. The undeveloped nature of the area reinforces the coastal village character of the locality. Development in this precinct is consequently to be undertaken in a manner which is sympathetic to the natural environment in terms of vegetation retention, site disturbance, building materials and colours, site landscaping and the location of building elements on individual allotments. The long frontages to the Tweed Coast Road are to be screened with native vegetation. Building forms are to be low rise in nature and limited in mass, bulk and height.

The eastern portion of the precinct (east of Tweed Coast Road) provides potential for a low scale tourist facility, such as caravan park, and the provision of a service station (to replace the service station relocating from the village centre) and convenience retail facility to service local residents and visitors opposite the intersection of Tweed Coast Road and Sandalwood Drive. This location will form the key entry to any tourist related development. Signage associated with any service station/convenience retail facility is to be of an architectural form and design so as to be compatible and integrated with the height, scale, layout and form of the proposed development and other development in the locality.

The western portion of the precinct is to be integrated with the low scale residential development existing in this area. No direct vehicle access to the residential development is to be provided onto the Tweed Coast Road. Whilst single and multiple dwellings may be interspersed with one another in this precinct, it is intended that the size and height of individual building elements be limited to a level consistent with the vegetation retention objectives. Buildings should be 9 metres or less in height above ground level.

**B19.10.4 Preferred Outcomes**

Development in Southern Development Precinct may be supported where the proposal does not detract from the amenity of the area and is consistent with:

- The Vision for Bogangar/Cabarita Beach;
- This Precinct Objectives and Strategic Policies outlined above;
- The development design guidelines stipulated within Clauses B19.14, B19.15 and B19.16 of this Section.

## SOUTHERN DEVELOPMENT PRECINCT



## B19.11 SPECIAL USES PRECINCT

### B19.11.1 Background

The Special Uses Precinct covers the existing School and Water Treatment Pond to the township's west. These two uses are not proposed to go through any development as specifically dedicated under this DCP. This precinct designation aims to identify these uses and maintain their uses within the community.

### SPECIAL USES PRECINCT



## **B19.12 TWEED COAST ROAD COMMERCIAL PRECINCT**

### **B19.12.1 Background**

The Tweed Coast Road Commercial Precinct is situated in the centre of the study area. This Precinct acts as the village's main commercial centre, providing a variety of commercial retail services including:

- A variety of retail shops
- General Store
- Motel
- Service Station/mechanical workshop
- Offices
- Residential accommodation
- A variety of food premises (take-away and sit down)

The Precinct is bisected by an arterial road, Tweed Coast Road. This road is a busy road transporting traffic from Chinderah through to Wooyung along the coast. This function is beneficial to shops reliant on passing trade, however contributes negatively to pedestrian safety within this area of the village.

The majority of land within this precinct is currently zoned 3(b) General Business, pursuant to Tweed LEP 2000. The objective of this zone is to provide for the community's shopping, business, welfare and social needs, within close proximity to residential areas whilst ensuring that development is of a scale and type compatible with the character and amenity of the surrounding residential area. This zone is also intended to provide for tourist orientated development and encourage upper floor permanent residential or tourist accommodation.

Whilst the village has a coastal/beach character, this precinct has not necessarily developed an urban/streetscape character that would be considered unique to Bogangar/Cabarita Beach. The urban streetscape is an amalgam of individual buildings. This is especially the case in relation to the western side of Tweed Coast Road. This side of the road exhibits a combination of single and two storey buildings, whose construction and building design is influenced by when the building was constructed and its functionality. There is no uniformity or single design element that integrates the entire precinct. The eastern side of the precinct, due to its limited size and ownership appears to have a better combined uniformity to it.

As referred to previously, Tweed Coast Road bisects this Precinct. This arterial road contributes significantly to the streetscape of the immediate locality. The carriageway is wide consistent for its function as an arterial road. The wide carriageway provides an opportunity to undertake significant streetscape improvements that will contribute positively to the area and improve the overall appeal and character of the area. Streetscape improvements provide an opportunity to implement uniform design elements that will better integrate this whole precinct. It is envisaged that a Traffic Management Plan/Streetscape Plan be implemented for this portion of Tweed Coast Road.

Development on the eastern side of the road is built to the property boundary. This is consistent with traditional planning design guidelines for commercial development to provide for a vibrant busy commercial streetscape. Some development on the western side of the road is built similarly however, due to the



topography of the land, a steep fall, some development has been set back further to account for the slope of the land. This additional setback (approximately 4-6m) provides for an expansive wider streetscape that is not generally associated with commercial precincts.

### **B19.12.2 Precinct Objectives**

The objectives of Tweed Coast Road Commercial Precinct are to:

Provide for a vibrant commercial precinct that allows for a variety of commercial uses that satisfy economic demand and community needs.

Provide for a high standard integrated mixed-use development enabling commercial activity on the ground floor and residential development or tourist accommodation above.

Strengthen the village centre through high quality urban design and streetscape improvements.

Encourage a local building aesthetic that responds to the subtropical climate of the area, preserves important view corridors, and is representative of the local village character.

Cater for retail, business, welfare and social needs of the community.

### **B19.12.3 Strategic Policies**

It is intended that this precinct will accommodate a variety of mixed-use development, encouraging the development of commercial activities at ground level and residential or tourist accommodation above. This style of development will enable persons to live in the central business area, close to shops and services and possibly places of employment. Consolidation of residential development, above ground level, within this precinct will ensure less reliance on motor vehicle use.

Mixed-use development building design is envisaged to be consistent with common planning practice whereby ground floor commercial development is built to the property boundary and above ground level residential and/or tourist accommodation is set back approximately 3 metres from the property boundary. Building design within this precinct is intended to provide for an active streetscape and display high quality interesting urban design.

The development of single lots with individual architectural design provides for an active and varied street frontage. Although this is supported, consolidation of lots can provide for an integrated uniform urban design.

As referred to previously, Tweed Coast Road provides a very wide carriageway consistent with its function as an arterial road. The width of the carriageway provides opportunity to implement a variety of streetscape improvements and traffic management techniques. It is proposed that a comprehensive Traffic Management Plan, incorporating streetscape improvements, be prepared for that portion of Tweed Coast Road within the Study Area. The plan is envisaged to address the issues of pedestrian safety and movement, on-street car-parking, modification of street conditions, kerb and guttering, tree planting and landscaping, street furniture, lighting, etc.

Access to properties along Tweed Coast Road is to be limited to rear of allotment access. Vehicular access directly off Tweed Coast Road will not be permitted. Lots situated on the western side of Tweed Coast Road will be accessed via the Laneway situated between Tweed Coast Road and Hastings Road. Properties

located on the eastern side of Tweed Coast Road will be accessed from the rear via the existing car park or from a laneway that may be constructed as a result of the redevelopment of the existing car park. Similarly, new developments will be designed to provide car parking below ground or at the rear of the property so that it is not visible from Tweed Coast Road.

View Corridors have been identified at Pandanus Parade and Palm Avenue. From the western end of these streets, view corridors are evident toward the Beach. Retention of the natural elements in an urban context is considered significant and should be retained. It is imperative that urban development is sympathetic to these view corridors and is designed in a manner that preserves and compliments these view corridors.

There is currently one allotment zoned 2(b) Medium Density Residential on the western side of Tweed Coast Road. This is considered to be an anomaly and rezoning of the land, instigated by the landholder, would be supported. Rezoning the land to 3(b) General Business would ensure the land is consistent with adjoining land use and reflective of the existing commercial use and preferred future use.

In addition, there are four sites fronting the eastern side of Tweed Coast Road, between Palm Avenue and Cypress Crescent, which are currently located in the Residential 2(a) Zone. It is considered appropriate that these sites be similarly rezoned to 3(b) General Business in order to compliment the commercial zoning opposite on the western side of Tweed Coast Road and to complete the “enclosure” of the main street. The future commercial or mixed use development of these sites will necessitate the creation of a rear lane access between Cypress Crescent and Palm Avenue to minimise impacts on the traffic function of the main street and to enhance to visual appearance of the new development.

#### **B19.12.4 Preferred Outcomes**

Development in the Tweed Coast Road Business Precinct will demonstrate outstanding urban design and be of high architectural merit. Development within this precinct may be supported where the proposal is in accordance with:

- The Vision for Bogangar/Cabarita Beach.
- This Precincts Objectives and Strategic Policies outlined above.
- The development design guidelines stipulated within Clauses B19.14, B19.15 and B19.16 of this Section.
- A Streetscape Improvements Plan and/or Traffic Management Plan to be prepared for that portion of Tweed Coast Road within the locality.

The preferred outcome for the locality will realise:

- Development of this precinct as the village’s commercial centre.
- Development of mixed-use development (commercial on ground floor and residential/tourist accommodation above) consistent with the current 3(b) General Business Zone.
- Development of a Streetscape Improvements Plan for Tweed Coast Road.
- Potential rezoning of Lot 15 DP31208, Tweed Coast Road, Bogangar, from 2(b) Medium Density Residential to 3(b) General Business so that it is consistent with the surrounding land uses and the objectives of this Precinct. This rezoning to be undertaken in accordance with the

Environmental Planning and Assessment Act 1979. This rezoning is to be stimulated by Council or the landowner.

- Potential rezoning of Lots 1-4 Section 4 DP29748, Tweed Coast Road, Bogangar, from 2(a) Low Density Residential to 3(b) General Business so that it is consistent with the surrounding land uses and the objectives of this Precinct. This rezoning to be undertaken in accordance with the Environmental Planning and Assessment Act 1979. This rezoning is to be stimulated by Council or the landowner.

## TWEED COAST ROAD COMMERCIAL PRECINCT



## **B19.13 HASTINGS ROAD COMMERCIAL PRECINCT**

### **B19.13.1 Background**

The Hastings Road Commercial Precinct is situated on the western portion of the study area. This Precinct provides for a variety of land uses including:

- A variety of retail activities
- Commercial industry
- Offices
- Child Care Centre

This precinct, not having the same visual profile as commercial activity along Tweed Coast Road, generally accommodates second order commercial/retail activities servicing the needs of the local and surrounding communities.

There are approximately 12 allotments that are currently vacant along the eastern portion of Hastings Road. This demonstrates potential for considerable future urban development.

The majority of the land is currently zoned 3(b) General Business. The objectives of this zone have been described within the Tweed Coast Road Precinct section of this Plan.

Two parcels of land at the extreme southern and northern end of this Precinct are zoned 5(a) Car park. The objective of this zone is to develop the land for the purposes of a public car park.

Council's LEP also provides for the development of a laneway at the rear of the properties between Hastings Road and Tweed Coast Road. The purpose of this laneway is to provide rear of allotment access to the relevant properties hence eliminating the need for access to be obtained directly off Hastings Road.

### **B19.13.2 Precinct Objectives**

The objectives of Hastings Road Commercial Precinct are to:

- Provide for a vibrant commercial precinct that allows for a variety of commercial uses that satisfy economic demand and community needs.
- Provide for a high standard integrated mixed-use development enabling commercial activity on the ground floor and residential development or tourist accommodation above.
- Provide for high quality urban design that enhances the local village character.
- Cater for secondary retail, business, welfare and social needs of the community that compliments the commercial activities along the Tweed Coast Precinct.

### **B19.13.3 Strategic Policies**

This Precinct is considered to be the commercial precinct that will accommodate lower order commercial activities that may not necessarily be attracted to and/or supported within the Tweed Coast Road Commercial Precinct. Commercial activity in this precinct is intended to compliment the services and uses accommodated in the Tweed Coast Road Precinct.

It is intended that this precinct will accommodate a variety of mixed-use development, encouraging the development of commercial activities at ground level and residential or tourist accommodation above.

Building design within this precinct is intended to provide for an active streetscape and demonstrate high quality urban design. Development is to comply with the design provisions stated in Clauses B19.14, B19.15 and B19.16 of this Section.

The development of single lots with individual architectural design provides for an active and varied street frontage. Although this is supported, consolidation of lots is encouraged to provide for an integrated uniform urban design. Given the number of vacant land currently available, the opportunity to consolidate allotments and provide for integrated development does exist.

Vehicular access to properties is to be obtained from the laneway at the rear of the property. Vehicular access directly off Hastings Road will not be permitted.

Two sites, Lot 3 DP842350, and Lot 6 DP872039, are currently identified for the purposes of Car parking pursuant to Tweed LEP 2000. If these sites are to be developed as single level car parking, then both sites will be required for this purpose. However, if either lot is developed for multi-level car parking then there will not be a need to retain the other for the same purpose. If this eventuates then either lot will need to be rezoned to enable the land to be developed for 2(b) medium density residential or 3(b) General Business purposes. A commercial component should be included within the eventual design of a public car park, where commercial/retail activity is provided at ground level whilst car parking is located above and/or below ground. Suitable and convenient pedestrian access will need to be provided from the public car park through to Tweed Coast Road.

It is intended to provide public pedestrian access between Hastings Road and Tweed Coast Road to ensure permeability through the built environment. This access is to be provided from public car parking locations and through a central location along Hastings Road within close proximity to the road intersection with Reef Water Circuit.

#### **B19.13.4 Preferred Outcomes**

Development in the Hastings Road Commercial Precinct will demonstrate high quality urban design. Development within this precinct may be supported where the proposal is in accordance with:

- The Vision for Bogangar/Cabarita Beach.
- This Precincts Objectives and Strategic Policies outlined above.
- The development design guidelines stipulated within Clauses B19.14, B19.15 and B19.16 of this Section.

## HASTINGS ROAD COMMERCIAL PRECINCT

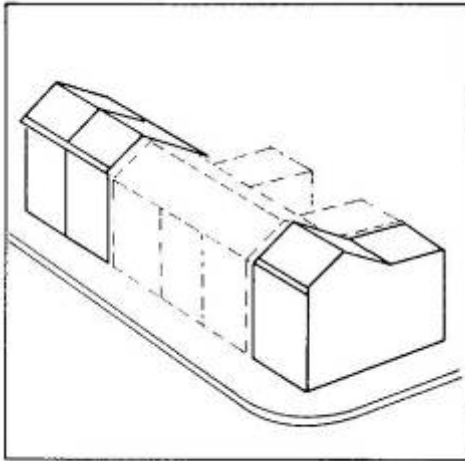


## **B19.14 COMMERCIAL FAÇADE DESIGN GUIDELINES**

This Section applies to buildings of a commercial nature and to the commercial component of a mixed use development within the Bogangar / Cabarita Beach study area.

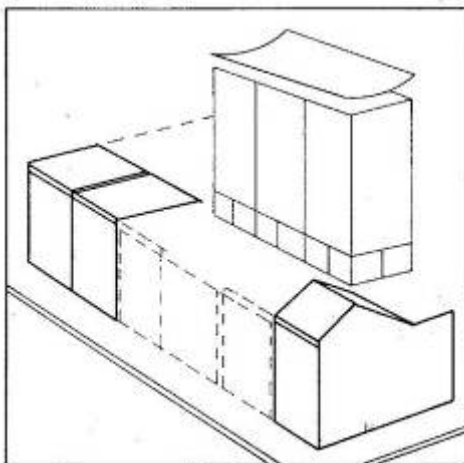
### **B19.14.1 Façade Alignment**

In general, the commercial component of buildings in the business zones should be built up to the street edge. This reinforces the streetscape image and provides a sense of continuity in the streetscape.



**Figure 1 – Buildings Built up to Street Edge**

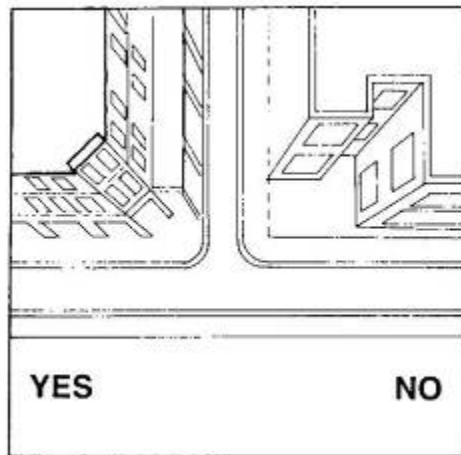
Commercial building components higher than 1 storey should be setback from the street approximately 3m from the property boundary. This setback however still allows for balconies and landscaping to be provided within this 3 metre setback.



**Figure 2 – Storeys above ground level set back approximately 3 metres**

Buildings on street corners should address the corner. The frontage to the second street should not be a blank wall. Both street frontages should incorporate active pedestrian frontages. Design elements such as awnings, verandahs, balustrades and the line of windows should all continue around the corner. This can be facilitated by the provision of a chamfered corner on the building.



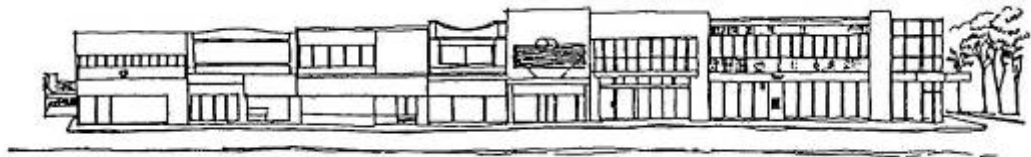


**Figure 3 – Corner Building Design**

Corner buildings can also have an increased height relative to surrounding buildings. This will accentuate the importance of the street corner in the overall streetscape.

#### **B19.14.2 Façade Modulation**

Buildings designed as smaller modules produce diversity in style and design. This is the traditional built pattern produced by narrow development lots. Where lots are amalgamated for new developments, the diversity of design in facades should be maintained. Extensive repetition of individual building elements should be avoided. Each separate shop or office front should have its own identifiable design features.



**Figure 4 – Modulation of Building Facades Produces Diversity in Design**

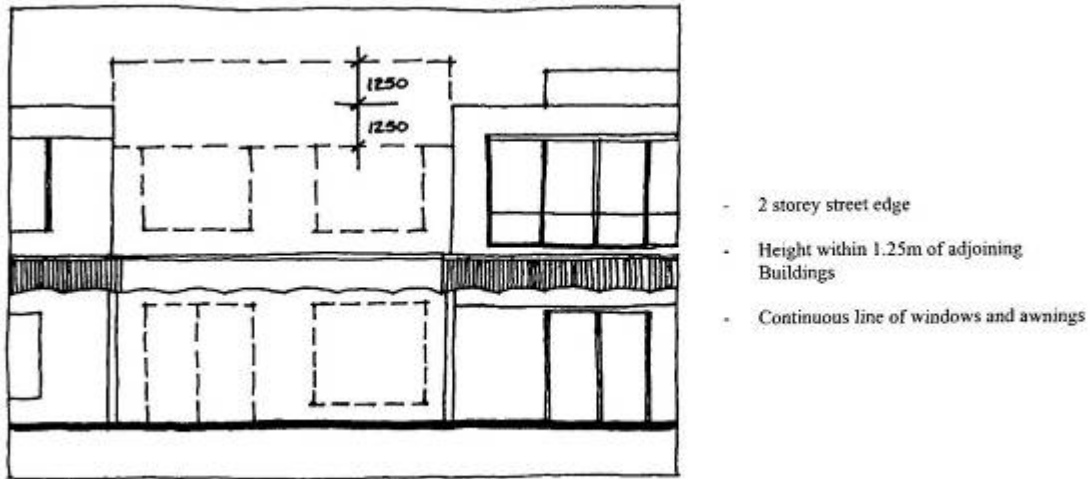
#### **B19.14.3 Continuity of Facades**

Commercial facades should be designed to form part of a continuous built edge to the street.

Façade windows should generally be aligned with the line of windows on adjoining development.

Façade height should be similar to adjoining buildings and be within 1.25m of the height of adjoining facades/parapets.

A sense of continuity of scale, proportion and modulation should be preserved in the streetscape. However, architectural styles and elements can be diverse.



**Figure 5 – Continuity of Building Facades**

#### **B19.14.4 Design Elements**

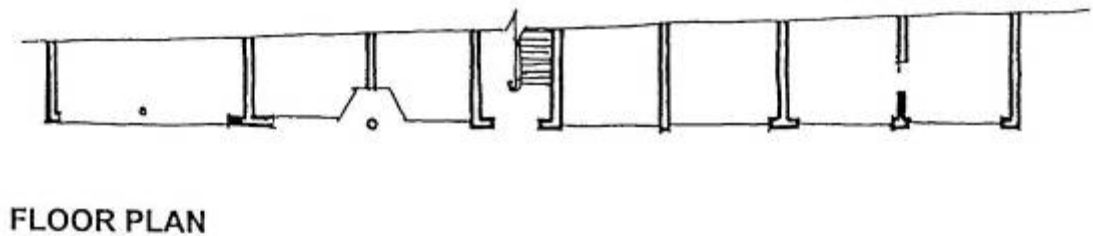
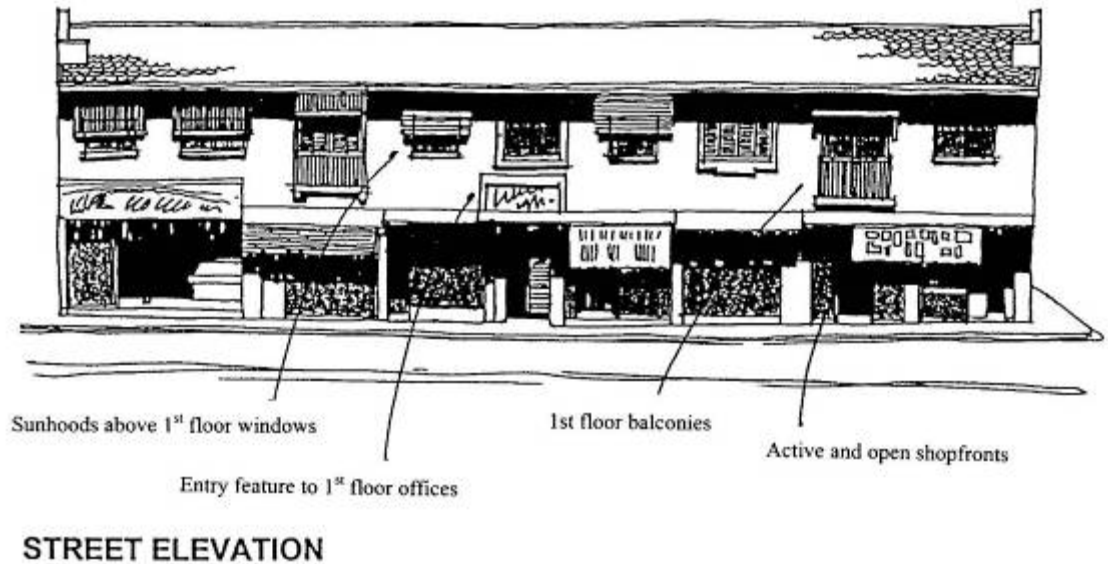
The street level of buildings should comprise of active and open shop fronts, comprising of display windows and entrances. Expansive blank walls will not be permitted as these do not encourage an active streetscape.

A continuous awning for the full extent of a building's street frontage should be provided for pedestrian shelter and to protect shop displays.

Sun protection devices should be provided above those windows which are located above awning level, to provide natural shade effect.

First floor level balconies opening to the street can add vitality and interest to the street scene and provide for casual surveillance of the street, which enhances public safety.

Entranceways to first floor level offices and residences should address the street and be easily identifiable through the use of distinctive entry features.



**Figure 6 – Commercial Façade Design Elements**

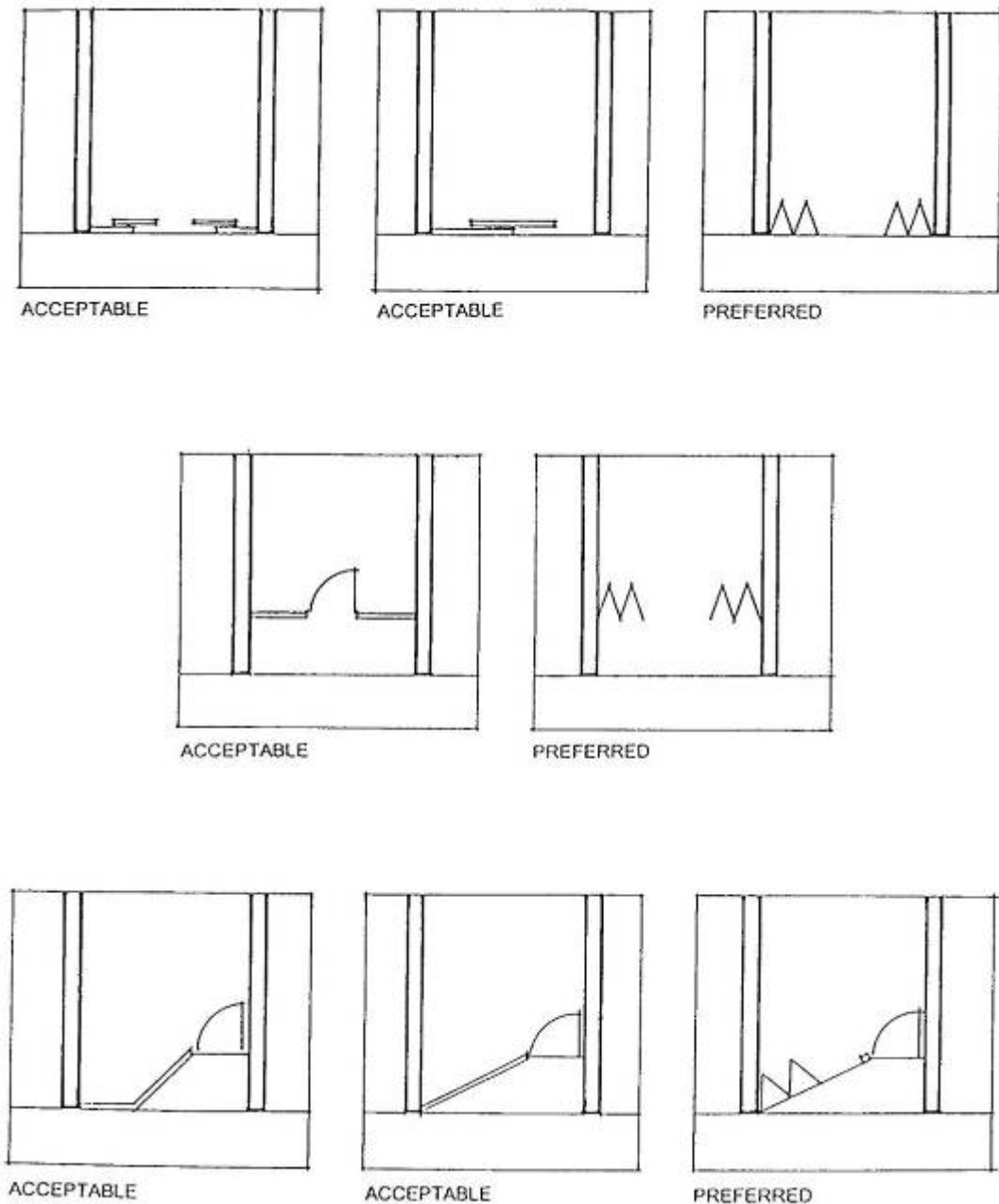
#### **B19.14.5 Offices and Shop Front Design**

Diversity of frontages provides visual interest and identifies individual premises.

Continuous level access to ground floor entranceways should be easily accessible for all people including those with disabilities. Ramps and handrails should be included where necessary. Steps should be avoided.

Open and angled shop fronts promote streetscape diversity and character.

Consideration should be given to a proposed developments contribution to the overall streetscape.



**Figure 7 – Acceptable and Preferred Office and Shop Front Designs**

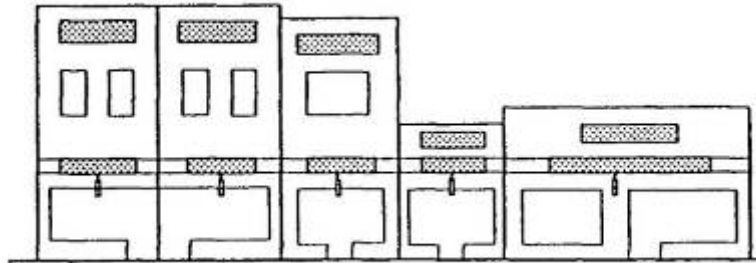
#### **B19.14.6 Advertising Signs**

All advertising signs must comply with the provisions of Section A4 – Advertising Signs Code of this DCP. Notwithstanding the provisions of Section A4 - Advertising Signs Code, signage in Bogangar/Cabarita Beach is limited to the following sign types:

- Under awning signs
- Facia signs
- Flush wall signs above awning level
- Top hamper signs

Additional direction signs may be used at key locations. Pole signs are not favoured, but where such signs are necessary, they may be permitted, provided that they do not dominate the streetscape.

All signs should add life and identity to the streetscape. Signage is to be integrated with the overall design of the building on which it is to be placed – refer to Figure 8 below.



**Figure 8 – Integrated Signage Arrangement**

Development Applications for new commercial/retail development must indicate proposals for integrated signage on the building i.e., the proposed positioning and dimensions of all future signs must be indicated with the building design plans.

Conditions of approval will require future signage of individual premises to conform to the approved integrated signage layout.

## **B19.15 RESIDENTIAL DESIGN GUIDELINES**

This section applies to residential buildings and residential components of mixed-use buildings. Residential buildings are taken to include both multi-dwelling units and tourist accommodation. It is intended to ensure consistency by applying the same development design guidelines to both multi-dwelling units and tourist development. Tourist development is to comply with those development standards managing multi-dwelling units. Reference to multi-dwelling units in this section is taken to include tourist accommodation as well.

All multi-dwelling development must comply with the provisions of Section A1 - Multi-Dwelling Housing of this DCP. Notwithstanding the provisions of Section A1 the following design guidelines are to be observed as well.

### **B19.15.1 Building Mass**

Buildings that comprise of large, unbroken expanses of walls can appear as visually imposing and aesthetically unattractive. The apparent bulk of a large building can effectively be reduced by breaking the building into smaller component parts, thereby achieving visual variation and encouraging design innovation.

The face of a building can be divided into smaller components by a combination of varied setbacks in the line of the external building, the inclusion of balconies and window shade elements.

Any wall or face of a residential building should not have a continuous, unbroken length of more than 15m. Indentations in the line of a wall will not achieve the desired outcome. There must be a clear break in the building line.

## **B19.15.2 Energy Efficiency**

### **Ventilation**

Natural ventilation is preferable for a high quality living environment and energy efficiency. Adequate ventilation requires cross ventilation.

Cross ventilation is easily achieved in apartments that extend the full building depth and have window and door configurations that allow unimpeded air movement through the full depth of the apartment. Changes in height between incoming and existing air also encourage cross ventilation. Cross ventilation is best achieved through narrow floor plans.

In situations where apartments cannot extend the full width of the building, ventilation shafts and courtyards can make it possible for cross ventilation to occur.

### **Daylight Access**

Daylight provides better amenity and is more energy efficient than artificial light.

Buildings should be designed to ensure sufficient daylight access to habitable rooms, without the need for artificial lighting.

Glazed areas should predominantly face north to optimise sun and daylight access. Shallow floor plans allow good daylight access. Split-level plans can enhance environmental quality.

## **B19.15.3 Roof Lines**

Roofs are strong visual elements in residential design.

Purely functional, flat roofs, with protruding lift over-runs or service plant rooms have little visual interest and do not contribute to the streetscape. Imaginative roof structures are encouraged, to produce a visually interesting skyline while retaining important views from adjoining developments.

Lift over-runs and service plants should be concealed within well designed roof structures that are integrated with the overall design of the building.

New development must maintain diversity in the design of roofed areas and avoid the construction of a “monotonous” roofscape. Roofed areas should not adversely impact on neighbouring properties and not detract from the existing roofline character.

Potential impacts include ancillary structures such as solar heating panels, satellite dishes and kitchen exhaust shafts/cowls; and the intended uses of the area for activities such as viewing platforms and outdoor recreational areas.

Development, to comply with the goals set by the roof design performance criteria, will:

- Combine roofing elements including gable, flat, hipped and/or curved roof forms.
- Be constructed using materials that are non-reflective and /or have minimal visual impact.
- Screen or position ancillary structures and/or activity areas having potential impact from view or the sightlines of neighbouring properties and public spaces.

- Avoid the addition of pergolas or other covered structures unless that part of the development is considered allowed by Clause 16 of Tweed Local Environmental Plan 2000.
- Be designed having a roof pitch no greater than 45 degrees to the horizontal.

#### **B19.15.4 Privacy**

The provision of visual privacy is an important consideration for residential amenity in urban housing.

The degree of privacy required in each part of a development depends on the following:

The activities of each of the areas between which overlooking may occur.

The times when people are using them and the frequency of occupation.

The occupants' expectations of privacy and their ability to control overlooking by screening devices.

Separation and screening are the main ways of achieving visual privacy.

Direct overlooking of main internal living areas of other dwellings is to be minimised by building layout, location and design of windows and balconies, screening devices and landscaping.

Direct views between living area windows of adjacent dwellings should be screened or obscured, or windows should be offset to ensure maximum privacy. Staggered building elements within a development improve privacy between units.

#### **B19.15.5 Security**

Urban housing developments should be designed such that they are safe and secure for residents and visitors.

Developments should be designed to reduce opportunities for anti-social behaviour and to reinforce residents' sense of security.

Particular attention should be given to the layout of all public and semi-public areas, including entrances, foyers, lift wells, hallways and car parking areas.

In all these areas the design should:

- Promote lively public and semi-public areas.
- Ensure public and semi-public areas are well lit at night.
- Promote casual surveillance.
- Minimise crime opportunities through careful design and layout.
- Clearly define threshold areas between public and private realms to promote residents' sense of security by demarcating their private spaces.

These can be achieved by ensuring that developments incorporate the following elements:

##### **Entrances**

Orientate building entrances towards the public street and ensure visibility between entrances, foyers and the street.

Encourage ground level apartments to open directly to the street rather than through a common foyer.

Provide direct and well lit access between car parks and dwellings; between car parks and lift lobbies, and to all unit entrances.

Provide group entrances to dwellings or adjoining apartments in a commonly visible area.

Arrange apartments in clusters to a maximum of eight around a common lobby, to optimise security.

Allow for quick and easy access to the building by occupants and visitors.

Mixed use buildings should be provided with separate entrances and internal access for the residential component to ensure safety of residents.

### **Surveillance**

- Provide outlook over public open spaces and streets from at least one room other than the bathroom or bedroom.
- Create opportunities for unobtrusive surveillance of common internal areas, such as lobbies and foyers, hallways, recreation areas, and car parks.

### **Concealment and Illumination**

Avoid blind or dark alcoves which might conceal intruders. Clear lines of sight and well lit routes throughout the development are the main criteria.

Provide appropriate levels of illumination for all common areas.

#### **Unsupervised Access**

Prevent uncontrolled access to apartments from car parks, fire exits and the balconies and roofs of neighbouring buildings.

#### **Communications**

Provide an audio or video intercom system at the entry or in the lobby for visitors to communicate with residents.

## **B19.15.6 Materials and Colours**

### **Materials**

In general, expansive glazed areas should be avoided as these do not provide visual relief, are not energy efficient, and create problems with reflection.

Glass with a reflection index greater than 20% will not be permitted. Other highly reflective materials should also be avoided.

Buildings should be finished to a high standard, incorporating rendered and painted surfaces.

Innovative use of materials is encouraged. Building products made from renewable resources and recycled materials are also encouraged, in the interests of environmental sustainability.

### **Colours**

Lighter colours and shades are preferred as these harmonise with colours of the coastal environment and surrounding development. Acceptable dominant colours of buildings are white, cream, light sandstone, pastel shades of blue, brown and purple/magenta. A combination of colours can provide visual interest to the urban landscape.



Dark colours such as black and charcoal and expansive areas of dark tinted glazing should be avoided, as these are not characteristic of the locality. All shades of grey should be avoided as they appear unattractive during overcast weather conditions.

### **B19.15.7 Access and Parking**

The provisions of Section A2 - Site Access and Parking Code of this DCP apply, in addition to the requirements detailed below.

#### **Access**

Where achievable, access to on-site parking areas is encouraged via lanes and secondary streets. Vehicular access to properties situated on western side of Tweed Coast Road and the eastern side of Hastings Road must be obtained from the laneway situated between Hastings Road and Tweed Coast Road. Access to properties situated on the eastern side of Tweed Coast Road will be limited to rear access.

During initial site design, the location and type of vehicle crossings must be carefully considered, to ensure that street character and pedestrian safety are maintained. Wide and dominating access points detract from both the streetscape and the active use of street frontages.

#### **Parking**

Car parking is to be provided either in a basement level car park or to the rear of the building. Parking located at ground level, underneath a residential or commercial building, and is visible from a main street frontage will not be permitted.

The following requirements must be met by all new developments:

Safe and convenient access to car parks must be provided for people with disabilities.

Car-parking should not be visible from main streets.

Where parking levels are visible from minor streets, they should be screened with solid walls or with dense planting.

#### **Car Wash Areas**

All new residential development must provide car wash areas. This will improve water quality in the Shire's waterways by controlling the disposal of nutrient laden car wash runoff.

The following requirements must be met by all new developments:

- An identifiable car wash area is provided in conjunction with each multi-dwelling housing development and reserved for use as a car wash area only.
- The car wash area has a pervious surface eg, a turfed area.
- An adequate water supply is made available to the car wash area.
- Surface run-off from the area must not discharge directly into the stormwater system.
- Car wash areas to be provided at the rate of 1 per every 10 dwelling units, with a minimum of one wash area being provided for each multi-dwelling housing development.

- Car wash areas are not to be included in the calculations for on-site car parking.

## **B19.16 Building Height**

### **B19.16.1 Building Height**

All buildings are governed by the maximum building height limits set under Tweed LEP 2000. All proposed developments must comply with:-

- The building envelope controls contained in this section of the DCP.
- The maximum height limits imposed under Tweed LEP 2000.

### **B19.16.2 Application Requirements**

Applicants should provide block models, visual impact statements, shadow diagrams and perspective drawings to demonstrate compliance with the objectives of the building envelope control.

### **B19.16.3 Building Envelope Objectives**

The objectives of the building envelope control are to:

- Ensure the maximum building height provisions for the area are observed.
- Ensure that building setbacks to property boundaries increase relative to any increase in building height.
- Minimise the visual and physical impact and apparent bulk of buildings on adjoining developments and public streets and spaces.
- Facilitate adequate sunlight access to and minimise shadow impact on adjoining properties and public streets and spaces.

### **B19.16.4 Maximum Building Height**

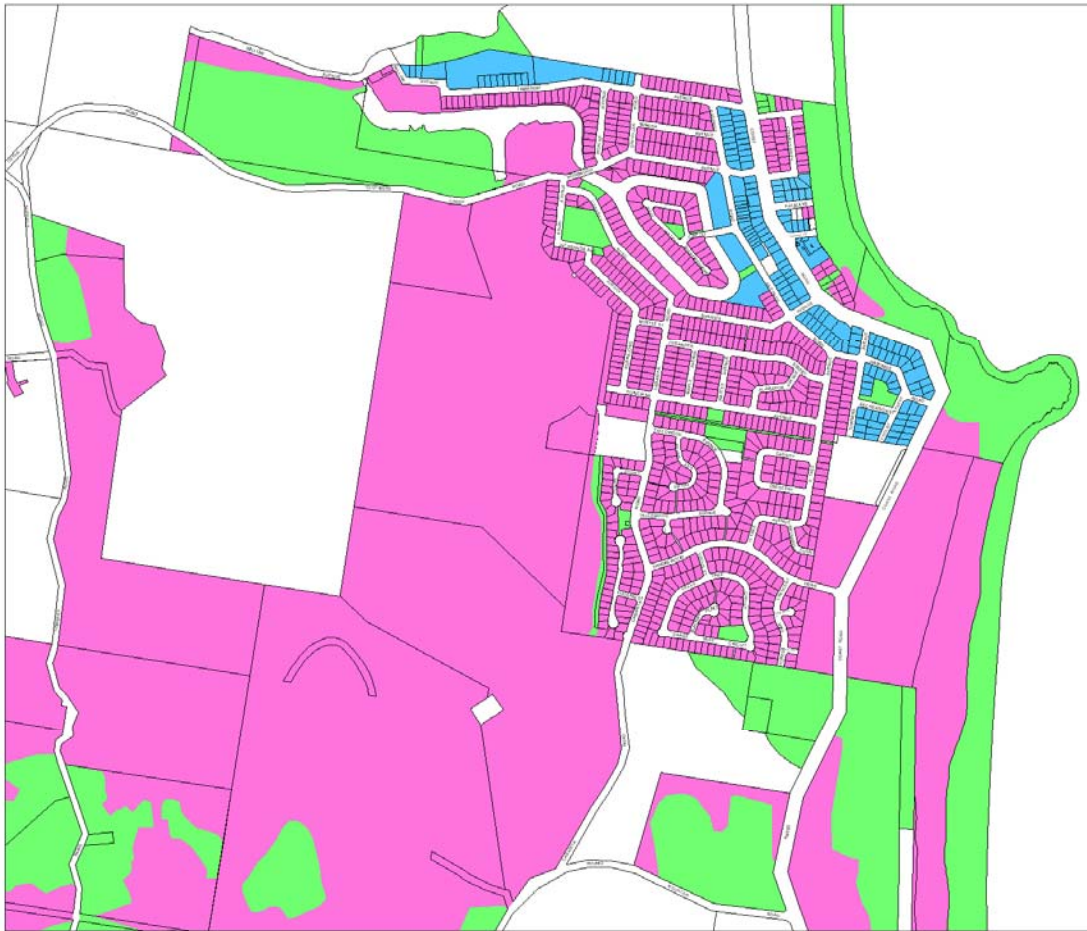
The height and scale of development within the study area is generally limited to three storeys. To maintain the character and amenity of the region it is encouraged that these height limits continue.

New development should minimise the visual and physical impact and apparent bulk that it has on adjoining development and public streets and spaces. New development should also not detrimentally impact on identified important view corridors.

Development, to comply with the goals set by the building height performance criteria, will measure the height in relation to a building to the uppermost ceiling or top plate of the highest external wall in accordance with provisions of the Tweed Local Environmental Plan.

The following Building Height Limit Map is an extract from the Tweed LEP 2000 and prescribes the maximum building height for all parts of Bogangar/Cabarita Beach

## BUILDING HEIGHT MAP



- 9 Metre Building Height
- 12 Metre Building Height
- 13.6 Metre Building Height



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